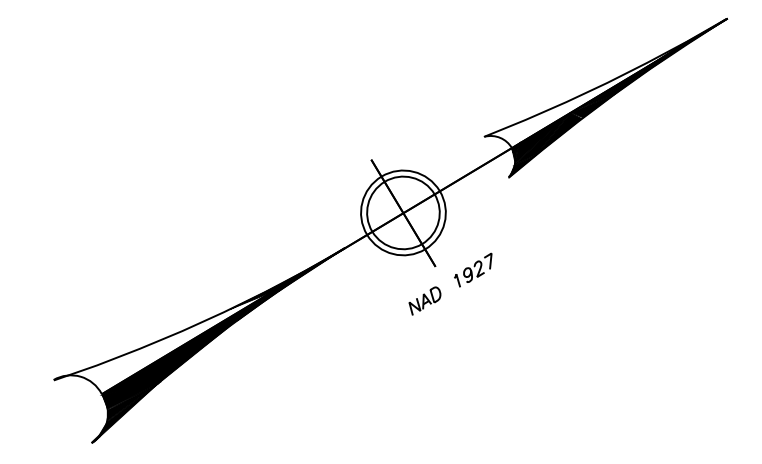
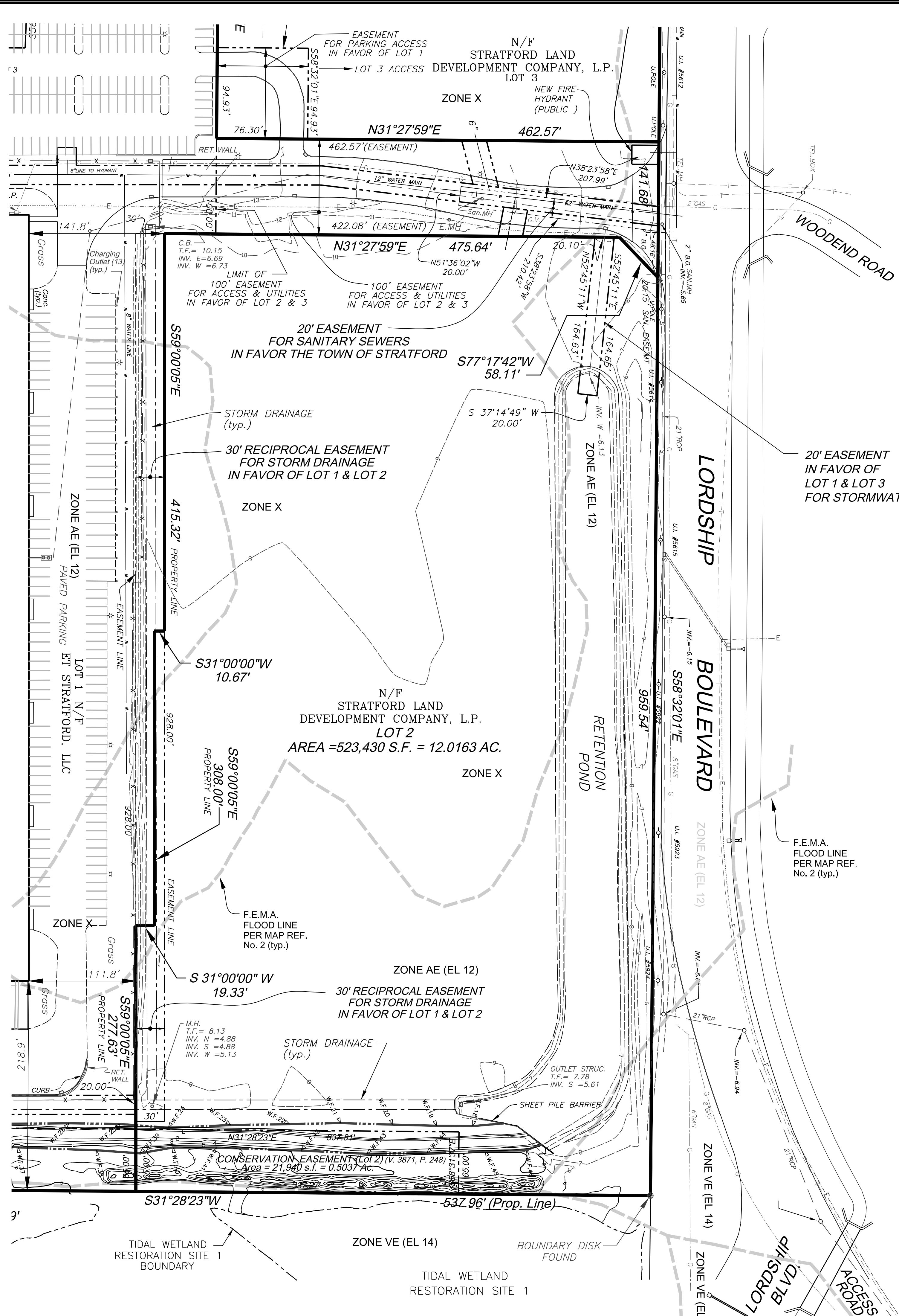


VICINITY MAP
Scale 1"=1500'



MAP REFERENCES:

- "PERIMETER SURVEY OF PROPERTY LOCATED ON LORDSHIP BOULEVARD & LONG BEACH BOULEVARD, STRATFORD, CONNECTICUT, PREPARED FOR STRATFORD LAND DEVELOPMENT COMPANY, L.P." MAP DATED JULY 8, 1999, REVISED JUNE 1, 2001, SCALE 1"=200', PREPARED BY KASPER GROUP, INC., BRIDGEPORT, CONN.
- FLOOD INSURANCE RATE MAP, FAIRFIELD COUNTY, CONNECTICUT PANEL 442 OF 628, MAP NUMBER 09001C0442C, MAP REVISED JULY 8, 2013, "REVISED TO REFLECT LOMR, EFFECTIVE: AUGUST 30, 2013", BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. (ELEVATION DATUM: NAD 1988)
- "EX-1 EXISTING CONDITIONS PLAN, TOPOGRAPHIC SURVEY, "EAST CAMPUS," PROPERTY LOCATED ON LORDSHIP BOULEVARD, STRATFORD, CONNECTICUT. PREPARED FOR STRATFORD LAND DEVELOPMENT COMPANY, L.P. DATED MAR. 15, 2008, LAST REVISED 06-04-14, SCALE 1"=80', PREPARED BY ROSE-TISO & CO., LLC.
- SUBDIVISION PLAN, "EAST CAMPUS", PROPERTY LOCATED ON LORDSHIP BOULEVARD, STRATFORD, CONNECTICUT, PREPARED FOR ET STRATFORD, LLC, DATED AUGUST 1, 2015, LAST REVISED 05-12-15, SCALE 1"=80', PREPARED BY ROSE-TISO & CO., LLC.
- EASEMENT MAP, "EAST CAMPUS", LORDSHIP BOULEVARD, STRATFORD, CONNECTICUT, EASEMENT IN FAVOR OF AQUARIUM WATER COMPANY, DATED AUGUST 1, 2015, LAST REVISED 12-17-15, SCALE 1"=60', PREPARED BY ROSE-TISO & CO., LLC.

NOTES:

- THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20, AND "THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996. THE TYPE OF SURVEY IS AN EASEMENT MAP BASED ON A RESURVEY CONFORMING TO CLASS A-2 HORIZONTAL ACCURACY STANDARDS AND CLASS T-2 TOPOGRAPHIC ACCURACY STANDARDS.
- ELEVATIONS ARE REFERENCED TO N.A.V.D. 1988.
- INLAND WETLANDS WERE DELINEATED BY JEFFERY SHAMAS, (BL COMPANIES) ON JULY 18, 2012. TIDAL AREAS WERE DELINEATED BY MARSHALL DENNIS, (WETLANDS & WILDLIFE, INC.) BASED ON CT DEEP GUIDANCE RELATIVE TO THE LANDWARD LIMIT AND ELEVATION OF THE HIGH TIDE LINE FOR THE STRATFORD CORPORATE CAMPUS.
- PROPERTY IS IN A COASTAL INDUSTRIAL DISTRICT, MC ZONE AND IS AN APPROVED PLANNED ECONOMIC DEVELOPMENT, "PED".

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PHILIP L. TISO, L.S. CONN. LIC. No. 12324
NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE SIGNATURE AND THE EMBOSSED SEAL OF THE ABOVE NAMED LAND SURVEYOR.

LEGEND

- S SIGN
- BOLLARD
- ☆ LIGHT POLE
- UTILITY POLE
- G.V. GAS VALVE
- W.V. WATER VALVE
- HYD. HYDRANT
- CATCH BASIN
- M.H. MAN HOLE
- E.O.P. EDGE OF PAVEMENT
- N/F NOW OR FORMERLY
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE
- EXIST. WATER LINE
- EXIST. SAN. SEWER LINE
- EXIST. STORM SEWER LINE
- X CHAIN LINK FENCE

REVISIONS

DESCRIPTION	DATE

0 30 60 120 180
SCALE IN FEET

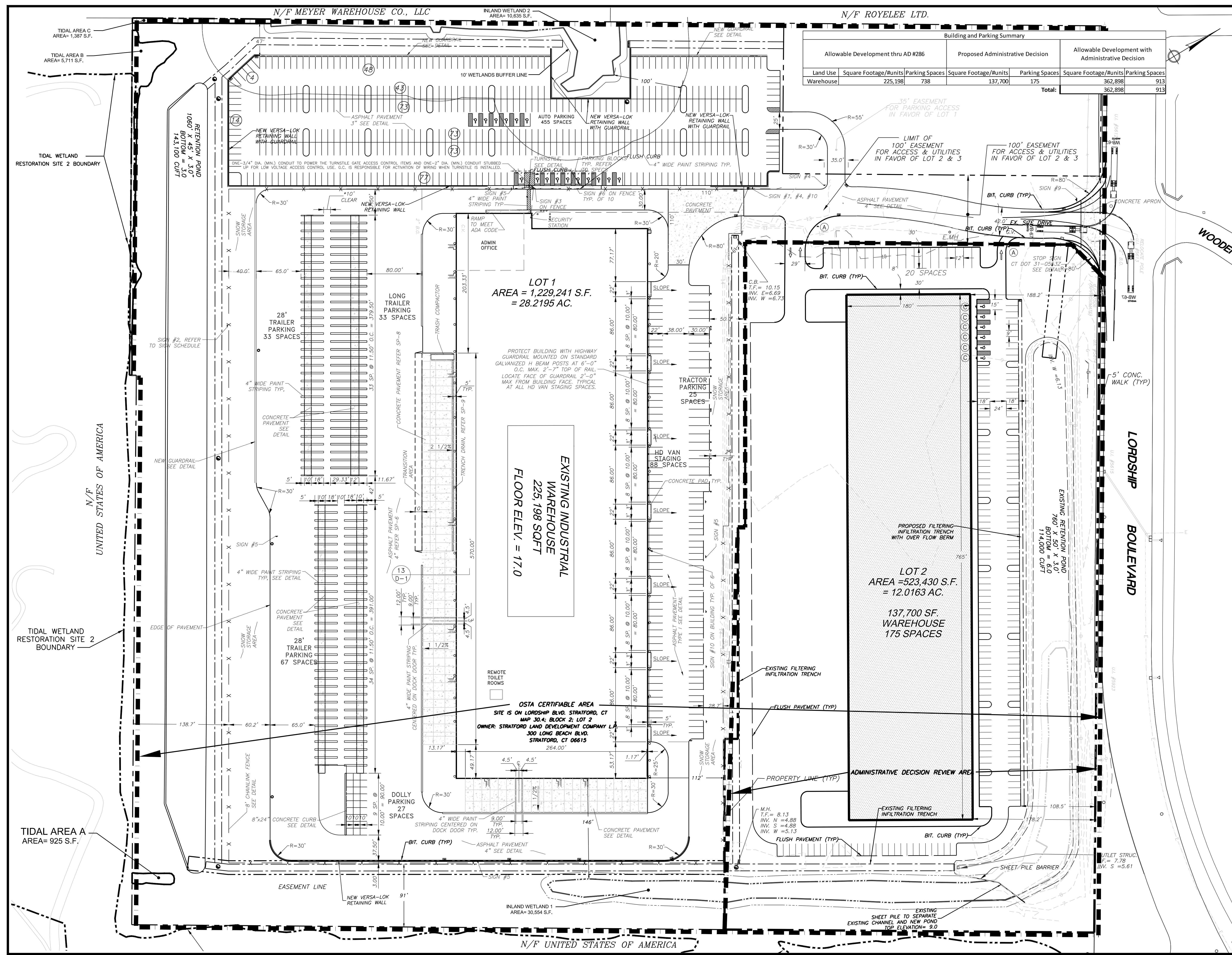
PROPERTY & TOPOGRAPHIC SURVEY

LOT No. 2, "EAST CAMPUS"
975 LORDSHIP BOULEVARD
STRATFORD, CONNECTICUT

PREPARED FOR
STRATFORD LAND
DEVELOPMENT COMPANY L.P.

ROSE
TISO
& CO. LLC.
ARCHITECTS/SURVEYORS/ENGINEERS

DATE: AUGUST 1, 2016
SCALE: 1" = 60'
DRAWN BY: LJC
CHECKED BY: PLT
SHEET 1 OF 1
DWG: 2107-M1-Lot2.dwg
Proj: S:\2107-Lot 2-Lordship-Blvd.dwg



Building and Parking Summary

Allowable Development thru AD #286	Proposed Administrative Decision		Allowable Development with Administrative Decision			
Land Use	Square Footage/#units	Parking Spaces	Square Footage/#units	Parking Spaces	Square Footage/#units	Parking Spaces
Warehouse	225,198	738	137,700	175	362,898	913
Total:					362,898	913

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REVISIONS

NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

PROPOSED WAREHOUSE LOT 2

975 LORDSHIP BLVD
STRATFORD, CT

Prepared For:
STRATFORD DEVELOPMENT COMPANY

SHEET TITLE
OVERALL SITE PLAN

DESIGNED BY: MJS/SFS	SCALE: 1" = 60'
DRAWN BY: SFS	DATE: 06-11-16
CHECKED BY: PLT	PROJECT NUMBER: 2107
CAD FILE: R:2107/DWG/6-11-14-SP.DWG	

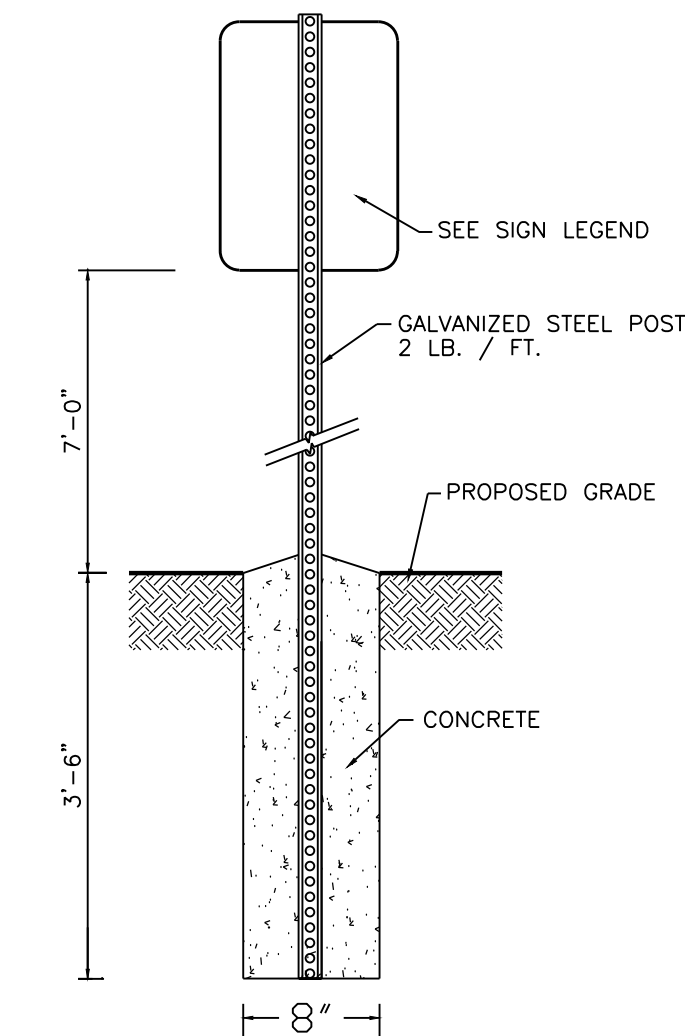
SEAL

SP-0

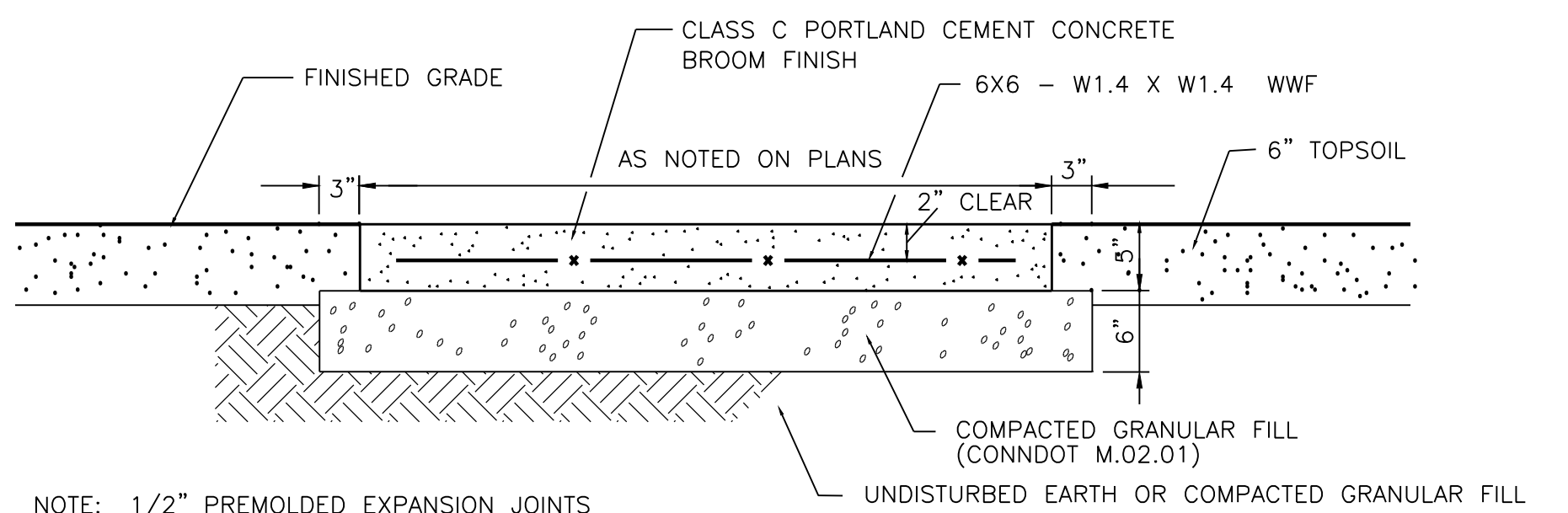
SHEET NUMBER

SIGN LEGEND

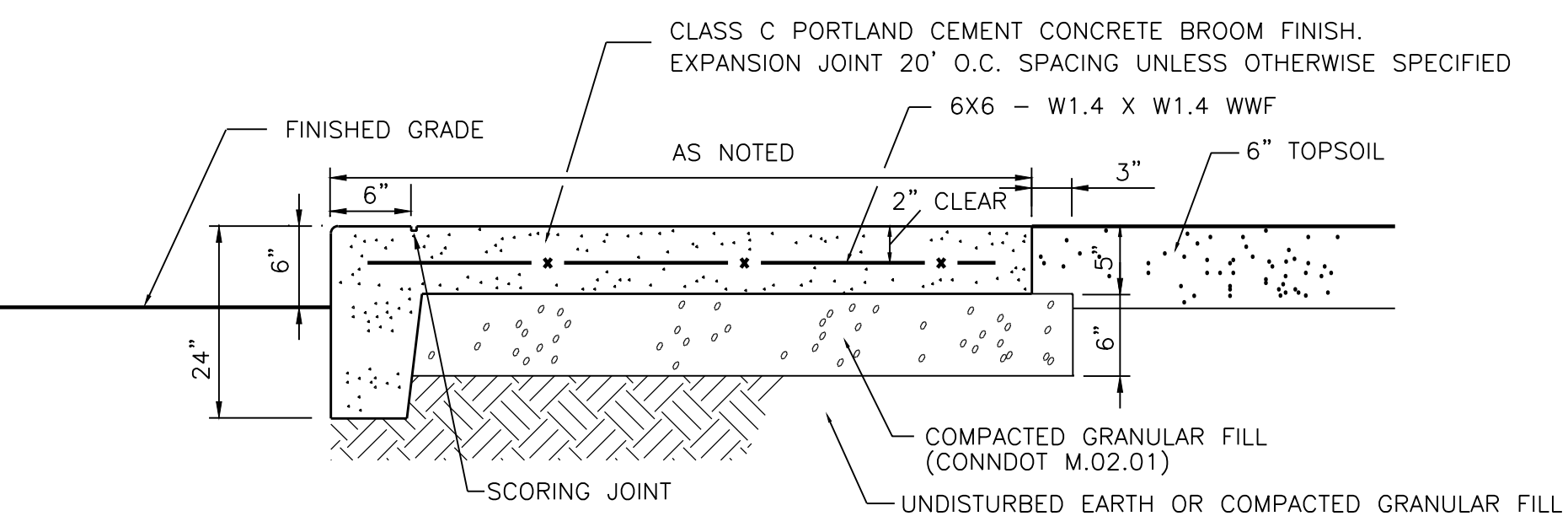
- (A) STOP - CONNDOT #31-0553z
- (B) STOP - CONNDOT #31-0552Z
- (C) HANDICAPPED PARKING - CONNDOT #31-0629(P)
VAN-ACCESSIBLE SIGN - CONNDOT #31-0648 WITH FINE



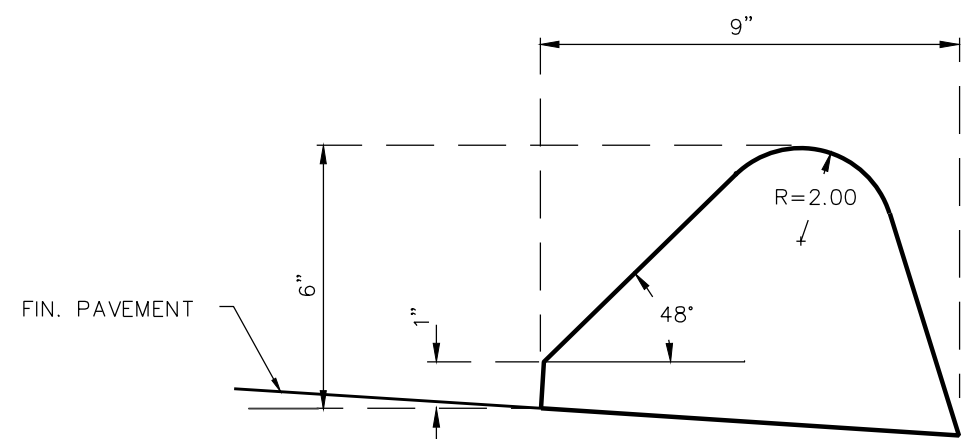
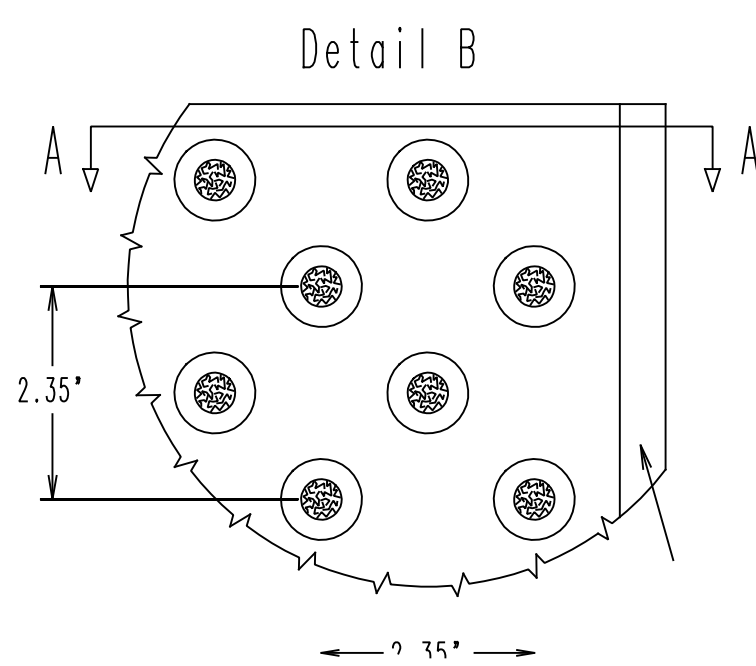
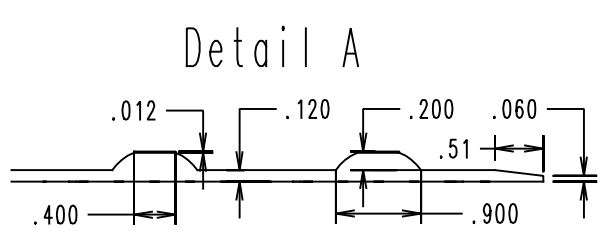
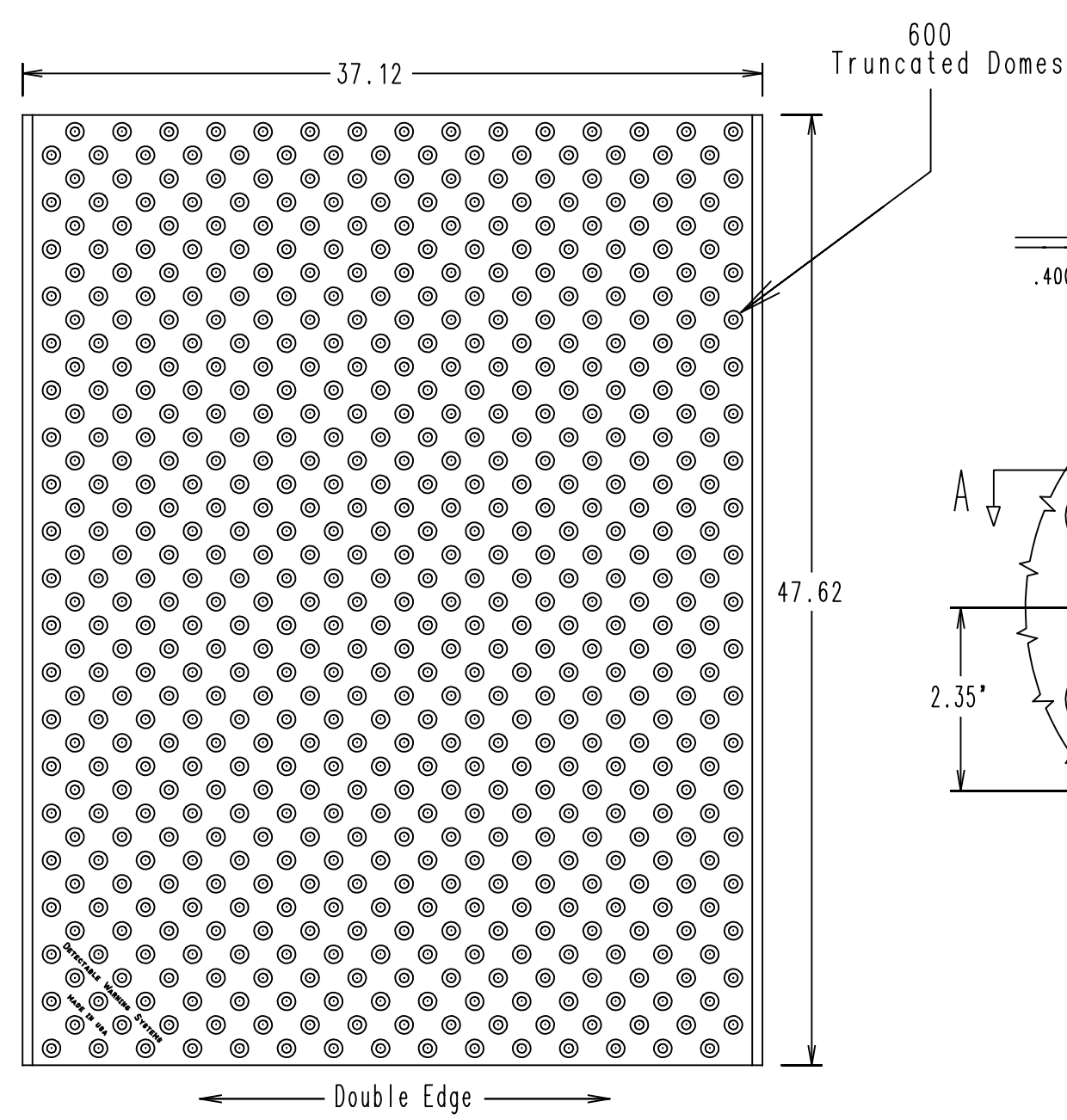
SIGN POST WITH CONCRETE FOUNDATION
N.T.S.



CONCRETE WALK
N.T.S.

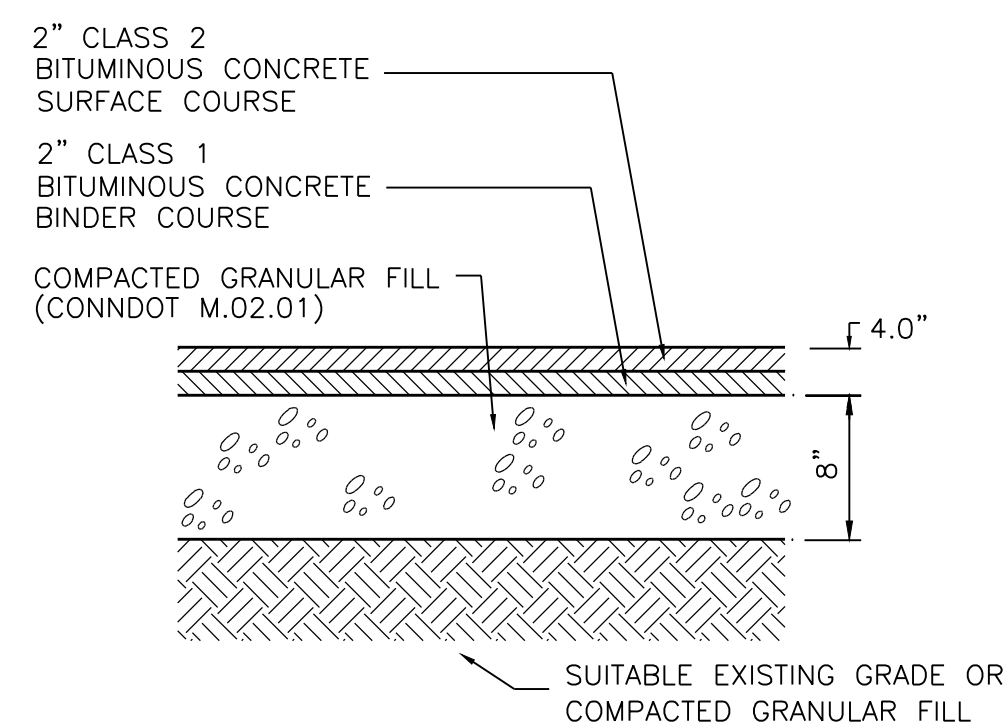


INTEGRAL CONCRETE WALK AND CURB
N.T.S.

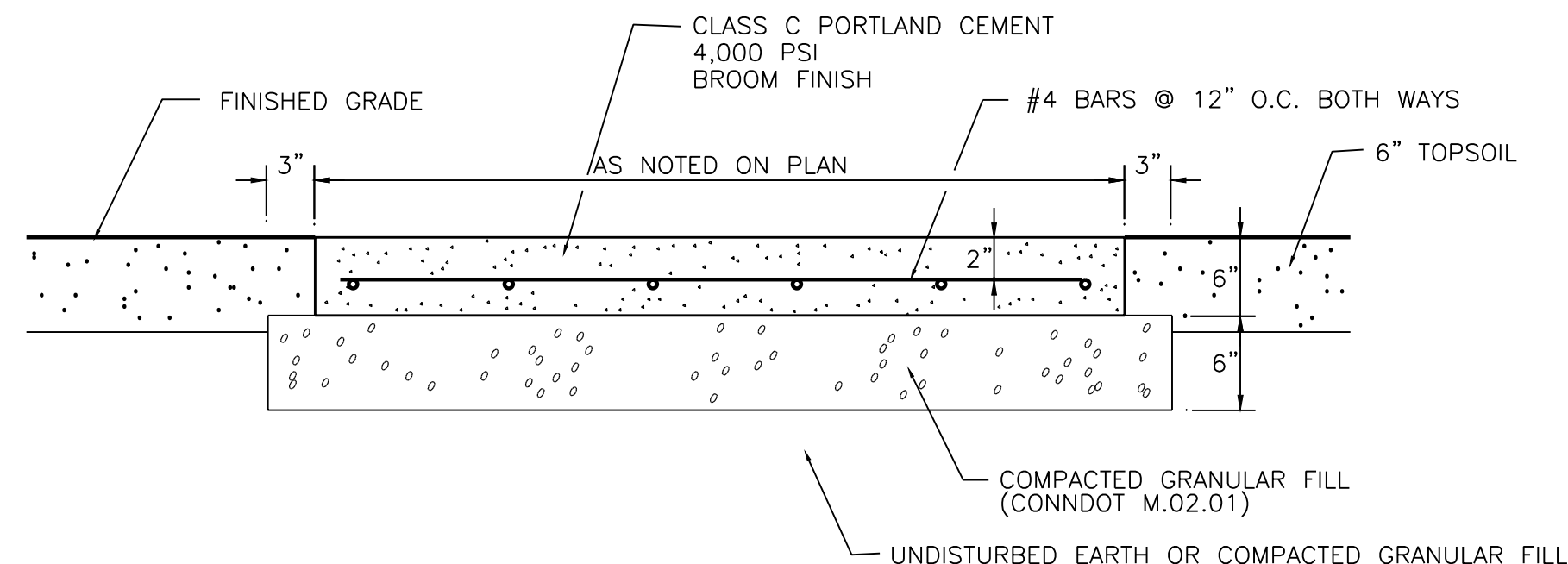


BITUMINOUS CONCRETE LIP CURB
SCALE 3" = 1'

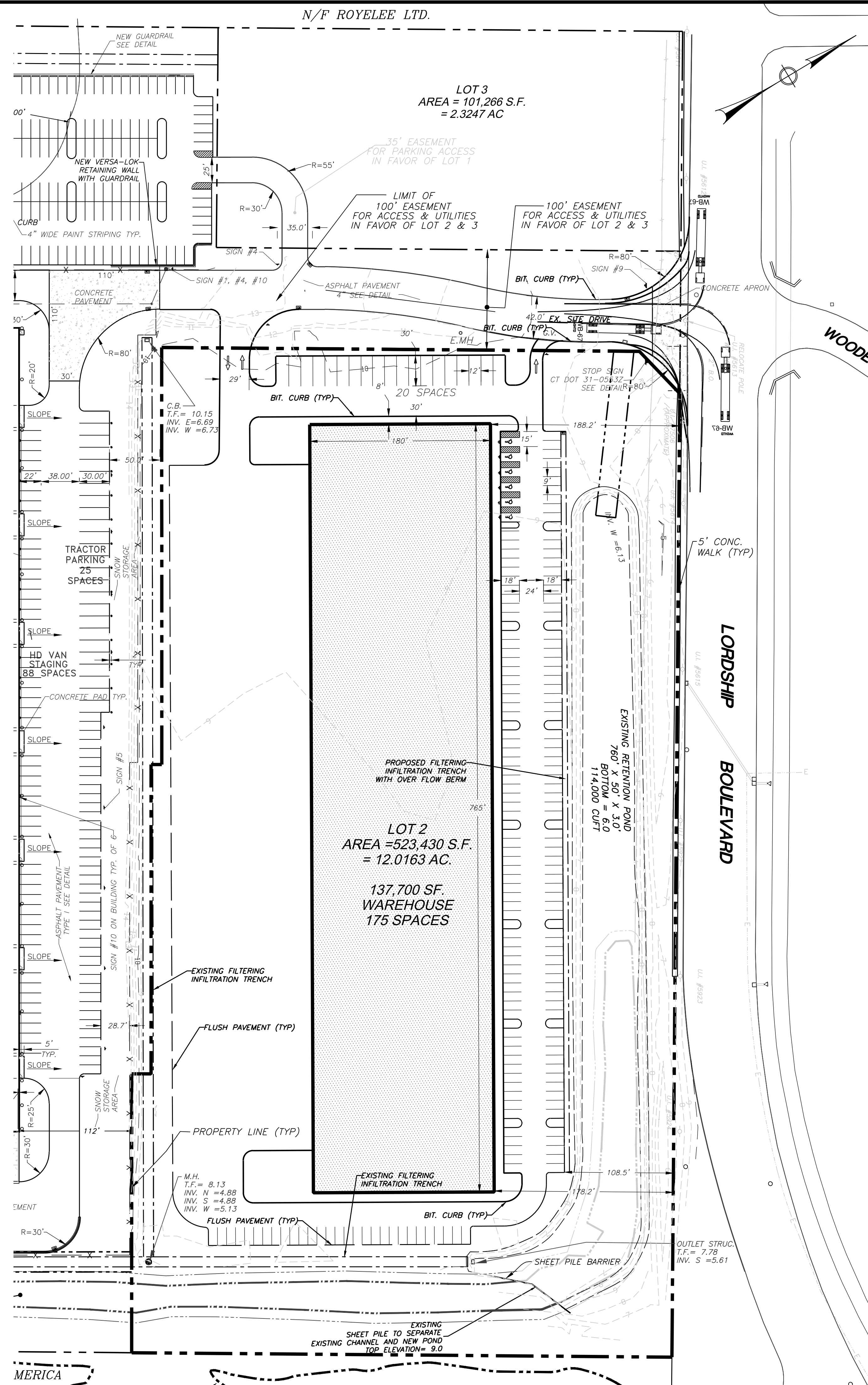
DETECTABLE WARNING MATS



4 INCH BITUMINOUS PAVEMENT
N.T.S.



CONCRETE DUMPSTER PAD
N.T.S.



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REVISIONS			
NO.	BY	DATE	DESCRIPTION

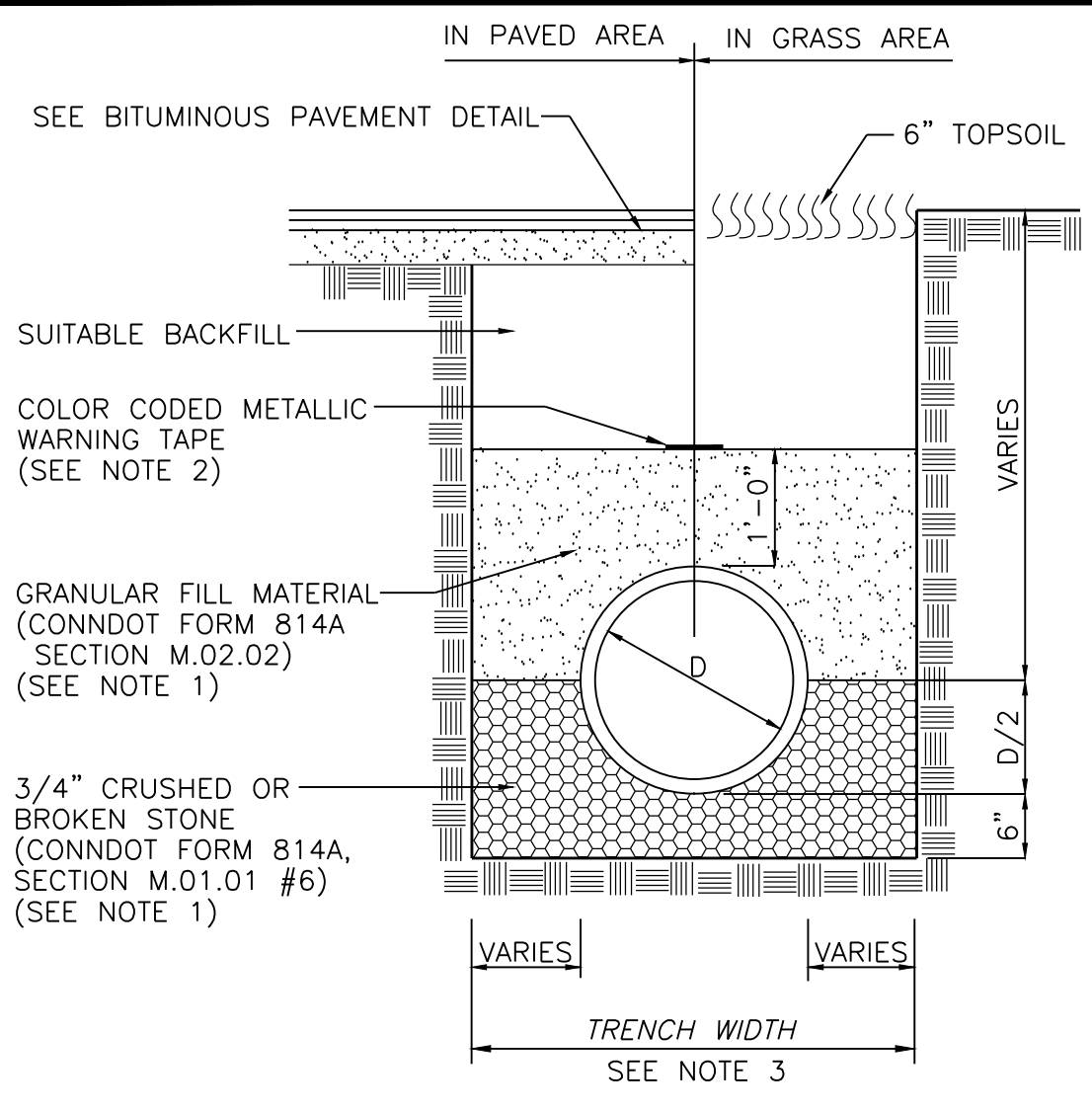
PROJECT TITLE
PROPOSED WAREHOUSE LOT 2
775 LORDSHIP BLVD
STRATFORD, CT

Prepared For:
STRATFORD DEVELOPMENT COMPANY

SHEET TITLE
SITE PLAN

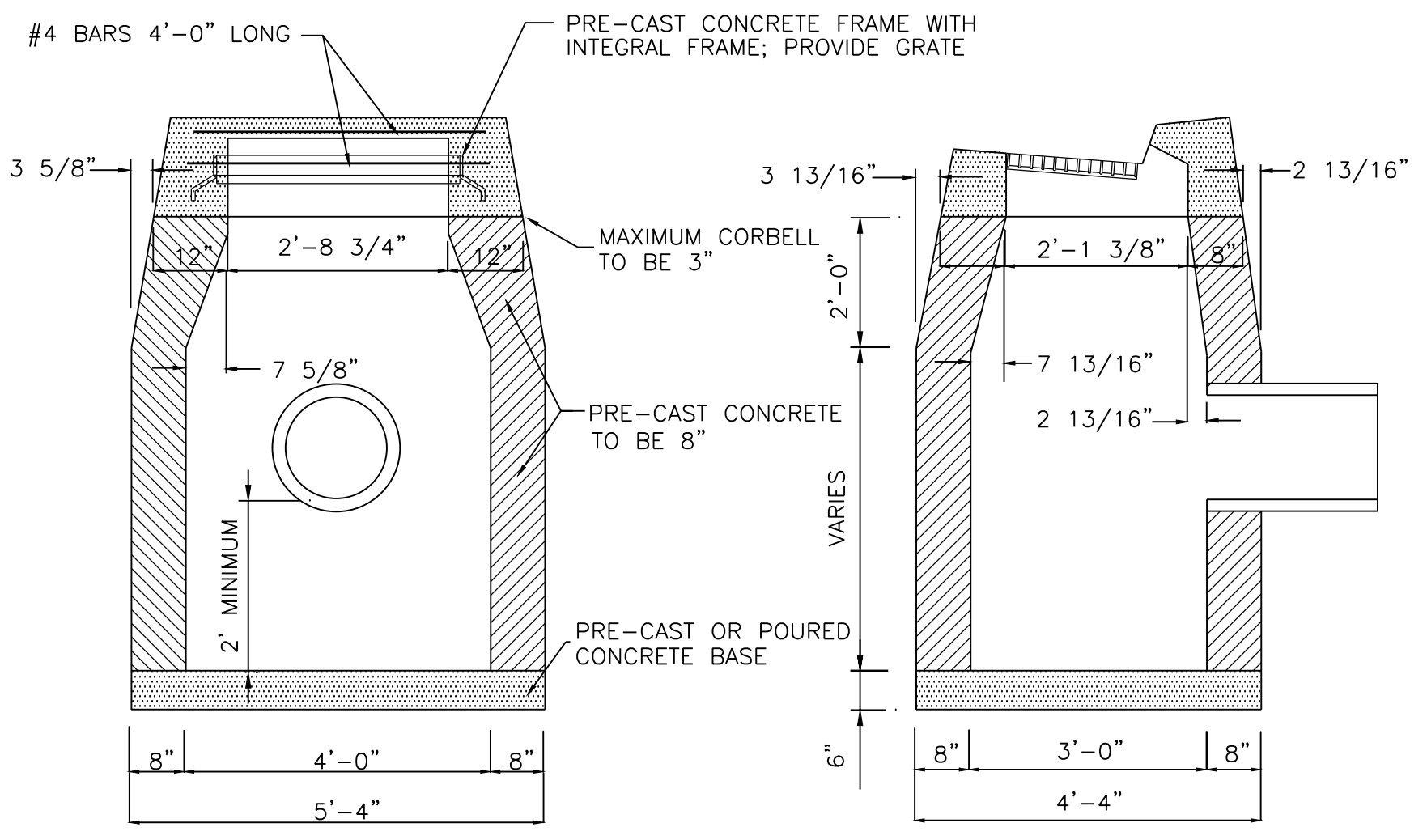
DESIGNED BY: MJS/SFS	SCALE: 1" = 60'
DRAWN BY: SFS	DATE: 06-11-16
CHECKED BY: PLT	PROJECT NUMBER: 2107
CAD FILE: R:2107/DWG/6-11-14-SP.DWG	

SEAL SHEET NUMBER
SP-1

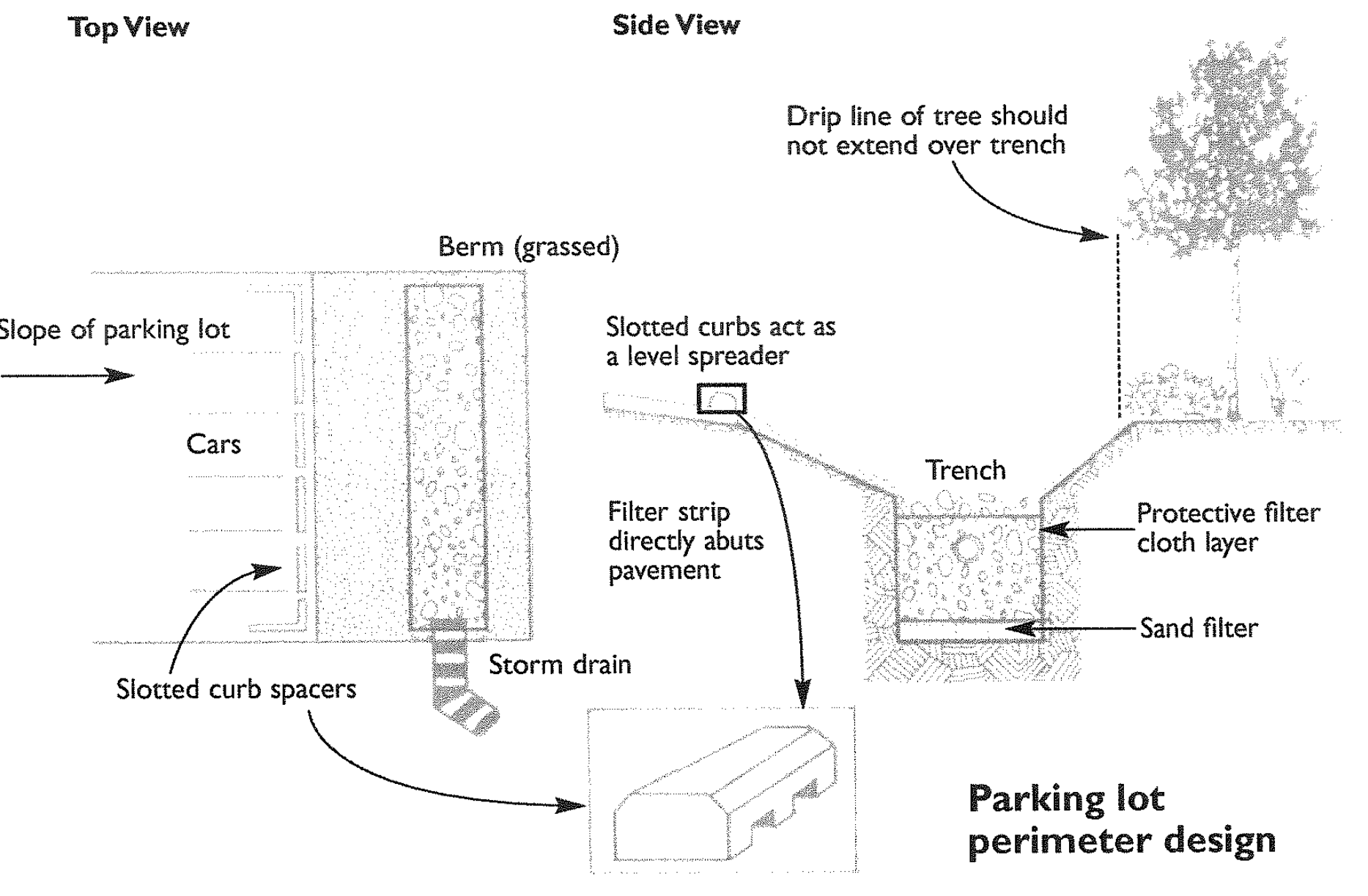


- NOTES:**
1. FILL MATERIALS SHALL BE COMPACTED TO 95% DRY DENSITY UNDER PAVED AREAS, SIDEWALKS AND OTHER STRUCTURES AND TO 90% DRY DENSITY (MIN.) UNDER UNPAVED AREAS.
 2. COLOR OF METALLIC WARNING TAPE SHALL CONFORM TO:
 BLUE - WATER
 GREEN - STORM & SANITARY
 RED - ELECTRICAL
 ORANGE - COMMUNICATIONS
 YELLOW - GAS
 3. TRENCH WIDTH SHALL BE D+2' WHEN D IS LESS 30" AND SHALL BE D+3' WHEN D=30" OR LARGER.
 D = NOMINAL PIPE DIAMETER

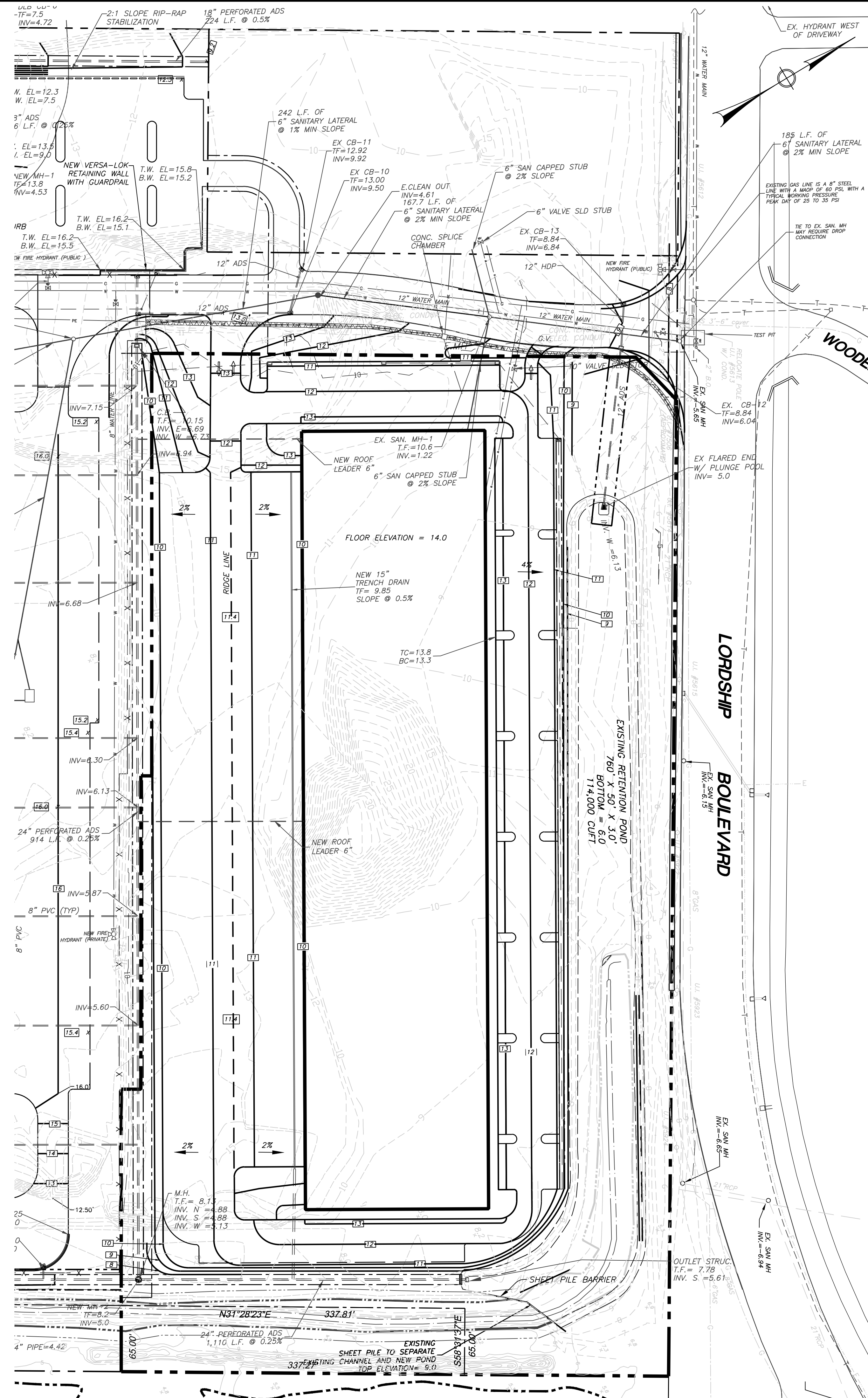
TYPICAL UTILITY TRENCH
N.T.S.



TYPE "C" CATCH BASIN
N.T.S.



FILTERING INFILTRATION TRENCH



REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

PROPOSED WAREHOUSE LOT 2

975 LORDSHIP BLVD
STRATFORD, CT

Prepared For:
STRATFORD DEVELOPMENT COMPANY

SHEET TITLE

GRADING & UTILITY PLAN

DESIGNED BY: MJS/SFS	SCALE: 1" = 60'
DRAWN BY: SFS	DATE: 06-11-16
CHECKED BY: PLT	PROJECT NUMBER: 2107
CAD FILE: R:2107/DWG/6-11-14-SP.DWG	

SEAL

SHEET NUMBER

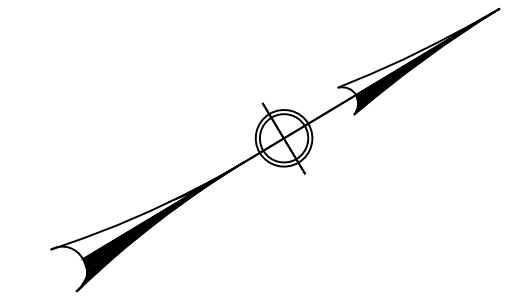
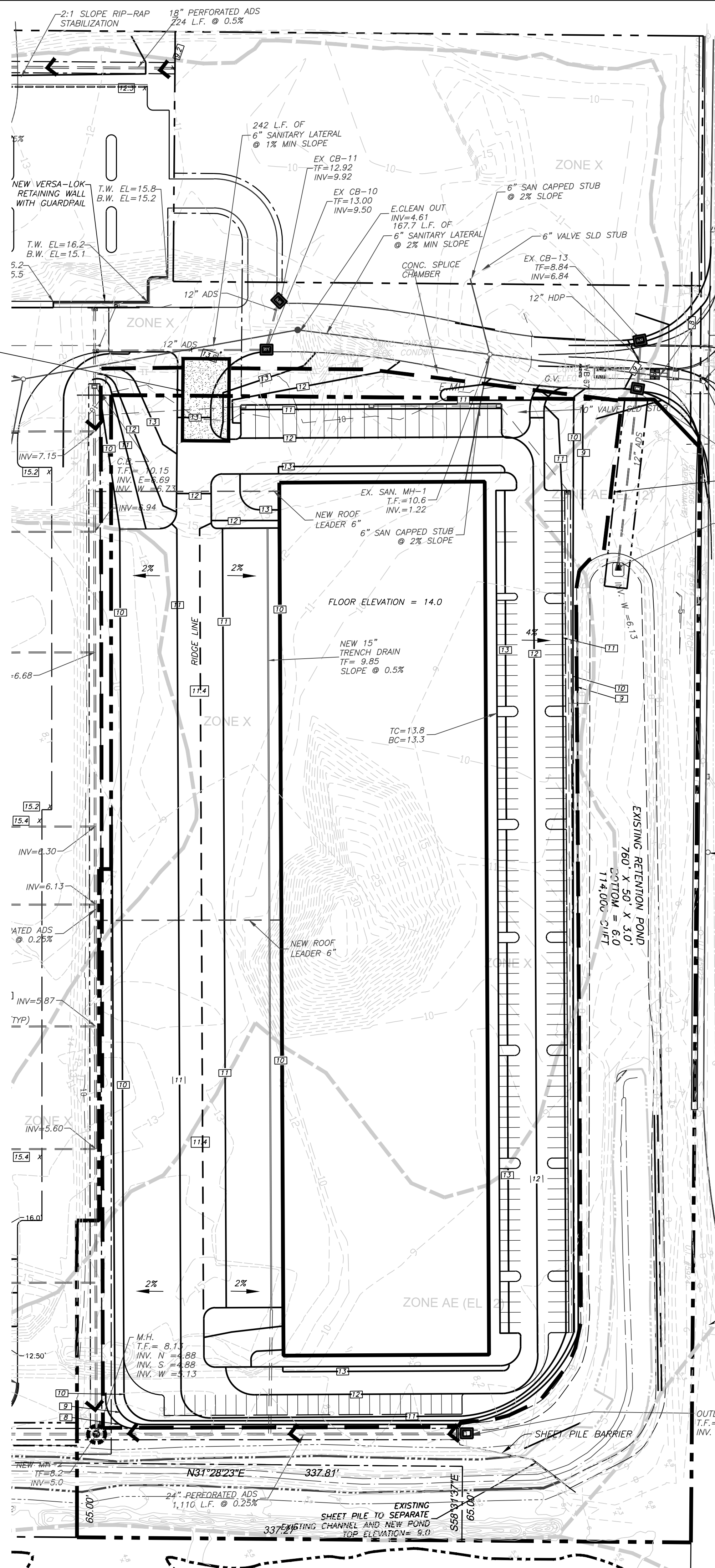
SP-2

EROSION CONTROL NARRATIVE

1. THE PROPOSED DEVELOPMENT WILL CONSIST OF THE CREATION OF A 137,700 SQ FT WAREHOUSE WITH ASSOCIATED PARKING, AND WILL INCLUDE THE INSTALLATION OF ALL DRAINAGE STRUCTURES. THE SITE IS LOCATED ON LORDSHIP BLVD., IN STRATFORD, CT. THE SITE CURRENTLY HAS A STORM WATER PERMIT ISSUED BY THE CT PERMIT #1999800774-5G
2. PROJECT START DATE 2016
PROJECT DURATION 16-18 MONTHS
3. CONSTRUCTION SEQUENCE
 - A. INSTALL ALL EROSION CONTROL MEASURES TO THE EXTENT POSSIBLE. THIS INCLUDES AT THE PROPOSED DRIVEWAY ENTRANCES.
 - B. PROTECT EXISTING CATCH BASINS WITH STAKED HAY BALES AS INDICATED ON THE PLAN.
 - C. ROUGH GRADE SITE AS REQUIRED FOR CONSTRUCTION OF THE BUILDING ALL EXCESS MATERIAL THAT HAS BEEN STOCKPILED FOR YEARS (CONCRETE, BLOCK, ROCK) WILL BE CRUSHED AND USED FOR CONSTRUCTION OF BUILDING AND PARKING AREAS. NO CRUSHING WILL TAKE PLACE WITH IN 100' OF ANY WETLAND OR PROPERTY BOUNDARY. ALL FINES ASSOCIATED WITH CRUSHING WILL BE KEPT ON SITE.
 - D. CONSTRUCT STORM DRAINAGE SYSTEM TO THE EXTENT POSSIBLE AS SHOWN ON THE PLAN. INSTALL STAKED HAY BALES AROUND ALL PROPOSED CATCH BASIN INLETS.
 - E. AFTER BUILDING IS ERECTED; INSTALL CURBING, SIDEWALKS, AND BITUMINOUS PAVEMENT.
 - F. SPREAD TOPSOIL AND STABILIZE WITH SEED AS SOON AS POSSIBLE.
 - G. INSTALL LANDSCAPING AS SHOWN ON THE PLAN.
 - H. REMOVE ALL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE SITE HAS BEEN STABILIZED WITH VEGETATED COVER.
 - I. SITE CLEAN-UP.

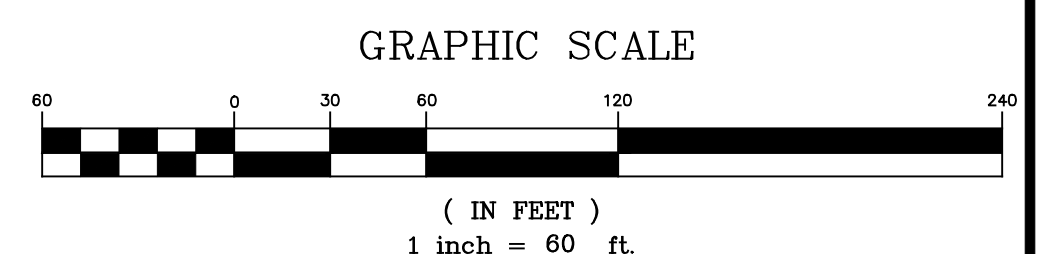
EROSION CONTROL NOTES

1. LAND DISTURBANCE WILL BE KEPT TO A MINIMUM; RESTABILIZATION WILL BE SCHEDULED AS SOON AS PRACTICAL.
2. HAY BALE AND/OR FABRIC FILTERS WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
3. CATCH BASINS WILL BE PROTECTED WITH HAY BALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL".
5. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION.
6. ALL EROSION CONTROL MEASURES WILL BE MAINTAINED DURING THE CONSTRUCTION PERIOD.
7. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF NECESSARY OR REQUIRED.
8. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
9. THE CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
10. NOTIFY AUTHORIZED CITY AGENT 48 HOURS IN ADVANCE PRIOR TO START OF ANY PHASE OF CONSTRUCTION.
11. ALL OUTFALLS MUST BE FITTED WITH AN ENERGY DISSIPATION DEVICES



SILT FENCE (TYP)
LIMIT OF DISTURBANCE

- REFERENCE NOTES:**
1. THIS PLAN IS AMENDING THE SITES CURRENT SOIL EROSION PLANS AND PERMIT BY KASPER GROUP TITLED "INITIAL AND INTERMEDIATE PHASE SEDIMENTATION AND EROSION CONTROL PLAN EAST CAMPUS SUITE" SHEET SE-3 DATED 08/11/99 THIS PERMIT HAS BEEN KEPT UP TO DATE AND EXTENDED BY THE TOWN OF STRATFORD THROUGH TO SEPT, 21 2013
 2. THIS SITE ALSO HOLDS PERMITS FROM STATE OF CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION, PERMIT NO. 1999800774-5G, W-98-102, WOC-199800778.



LEGEND

	PROPERTY LINES
	FILTER FABRIC FENCE & LIMIT OF DISTURBANCE
	PROPOSED LIGHTING
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	EXISTING CATCH BASIN
	EXISTING MANHOLE
	ANTI-TRACKING APRON
	SILTSACK @ CATCH BASINS
	SILTSACK @ MANHOLES
	HAYBALE CHECKDAM

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REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

PROPOSED WAREHOUSE LOT 2

975 LORDSHIP BLVD
STRATFORD, CT

Prepared For:
STRATFORD DEVELOPMENT COMPANY

SHEET TITLE

SOIL EROSION CONTROL PLAN






DESIGNED BY: MJS/SFS	SCALE: 1" = 60'
DRAWN BY: SFS	DATE: 06-11-16
CHECKED BY: PLT	PROJECT NUMBER: 2107
CAD FILE: R:2107/DWG/6-11-14-SP.DWG	

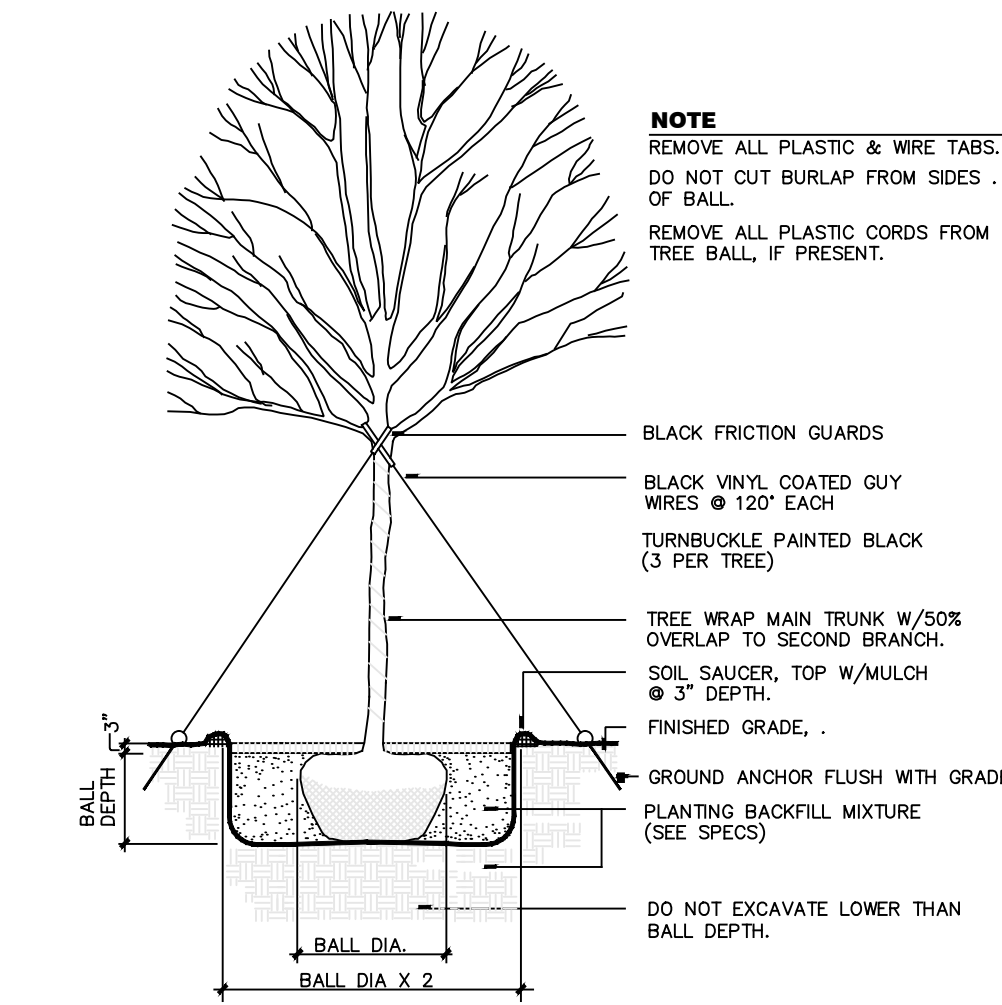
SEAL

SHEET NUMBER

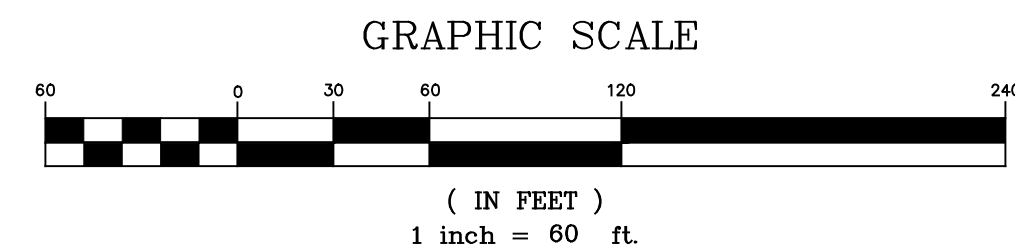
SP-3

PLANT LIST

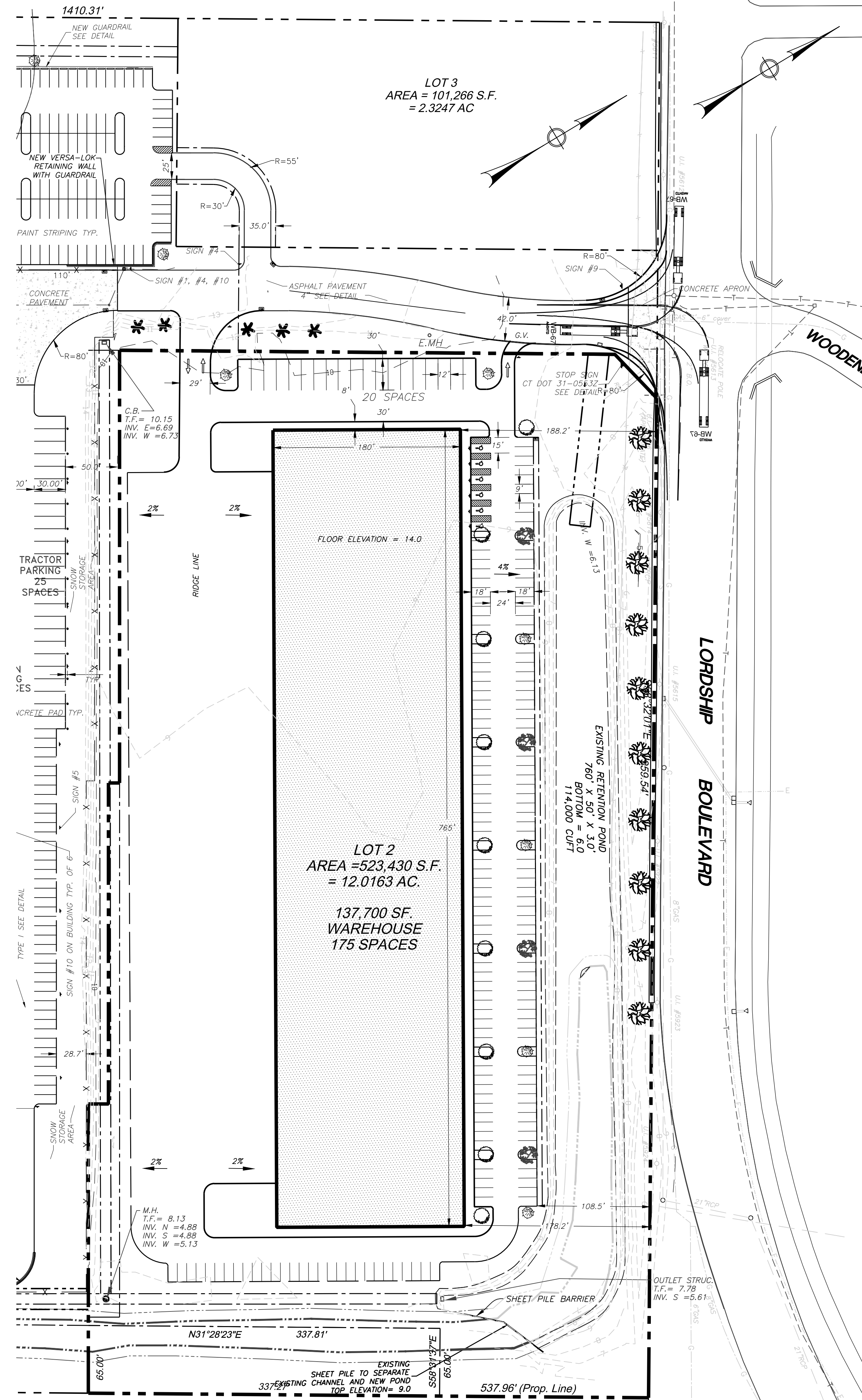
KEY	QUANT.	BOTANICAL NAME	COMMON NAME	SIZE
TREES:				
	6	QUERCUS PALUSTRIS	PIN OAK	2-2 1/2" CAL.
	4	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	2-2 1/2" CAL.
	9	CORNUS KOUSA	KOREAN DOGWOOD	2" CAL.
	10	PLATANUS ACERIFOLIA	LONDON PLANETREE	2" CAL.
SHRUBS:				
	5	Juniperus horizontalis	CREeping JUNIPER	6-12" HT.



DECIDUOUS TREE PLANTING
NOT TO SCALE



- NOTES:**
1. STAKE ONLY WHEN ABSOLUTELY NECESSARY AND AS DIRECTED BY THE OWNERS REPRESENTATIVE
 2. PROTECT ALL TREES NOT TO BE REMOVED
 3. LOAM AND SEED ALL DISTURBED AREAS UNLESS OTHERWISE SPECIFIED.
 4. GRASS SEEDING BLEND (BY WEIGHT) SHALL BE NK 200 PERENNIAL RYE GRASS 25%, KENTUCKY BLUEGRASS 25%, AND PENN LAWN RED FESCUE 50%.
 5. PROVIDE PVC CONDUIT FOR LANDSCAPE ISLAND IRRIGATION.
 6. SHADE TREES ARE TO HAVE 7" MIN BRANCHING FOR SAFETY.
 7. REMOVAL OF EXISTING PUBLIC TREES REQUIRES WRITTEN NOTIFICATION OF AND PERMISSION OF TREE WARDEN OR D.O.T. DISTRICT 3, AS APPLICABLE.



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REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

PROPOSED WAREHOUSE LOT 2

975 LORDSHIP BLVD
STRATFORD, CT

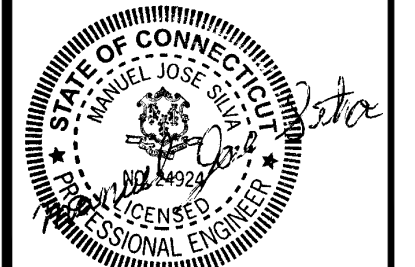
Prepared For:
STRATFORD DEVELOPMENT COMPANY

SHEET TITLE

LANDSCAPE PLAN

DESIGNED BY: MUS/SFS	SCALE: 1" = 60'
DRAWN BY: SFS	DATE: 06-11-16
CHECKED BY: PLT	PROJECT NUMBER: 2107
CAD FILE: R:2107/DWG/6-11-14-SP.DWG	

SEAL



SHEET NUMBER

SP-4

A. NARRATIVE:

Stratford Development Company is proposing the construction of a Warehouse facility, located on Lordship Boulevard, in Stratford. The proposed building will have a total footprint area of approximately 137,700 square feet. Currently the property is comprised of a single 42.56 acres parcel. The proposed roofs and parking will be the major elements of the total impervious area on the site. (Approx. 28.73 acres) Also proposed are two retention ponds a northerly one being 114,000 cubic feet and the other southerly being 143,100 cubic feet in size.

The Past Construction runoff coefficient for the site is estimated at 86

B. DESIGN CRITERIA:

1. Erosion and sedimentation control measures have been located with consideration given to slopes, wetlands, and watercourses, and in accordance with the Connecticut "2002" Guidelines for Soil Erosion and Sediment Control, of the Connecticut Council of Soil and Water Conservation, Latest Edition.

2. Temporary sediment traps/basins are located throughout the project site where initial earth disturbance and ground shaping will be performed. These sediment basins have been sized in accordance with the "2002 Guidelines for Soil and Sediment Control". All sediment traps/basins shall provide a minimum of 1.34 cubic yards of water storage per acre drained and shall be maintained until final stabilization of the contributing area.

C. INSTALLATION AND/OR APPLICATION PROCEDURES:

1. Erosion and sedimentation control devices and stormwater management facilities shall be constructed in accordance with the project plans and specifications.

D. OPERATION, MAINTENANCE PROGRAM, INSPECTIONS:

1. Prior to any construction, a pre construction conference is to be held among the Design Engineer, the Owner, the Contractor, the Town Engineer, the Wetlands Enforcement Officer, and the Zoning Enforcement Officer to review the erosion and sedimentation control measures to be taken.

2. All revisions after approval has been granted shall be forwarded to the appropriate commissions and the Town Engineer.

3. The Town zoning & wetlands departments shall receive written notification seventy two hours before the start of any construction.

4. All erosion control measures associated with the construction are to be installed and maintained in accordance with the schedule and requirements. Additional control measures shall be installed during the construction period as necessary and required.

5. All soil erosion and sediment control measures must be installed before any construction activities.

6. Filter fabric / silt fence will be installed along the toe of all critical cut and fill slopes.

7. Sediment removed from control measures must be disposed of at a location approved by the design engineer that will not cause additional sedimentation to the surrounding area.

8. Qualified personnel (provided by the Permittee) shall inspect disturbed areas of the construction activity that have not been finally stabilized, structure control measures, and locations where vehicles enter or exit the site at least once every seven (7) calendar days within 24 hours of the end of a storm that is 0.1 inches or greater. Where sites have been temporarily or finally stabilized, such inspection shall be conducted at least once every month for three (3) months.

Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage system. Erosion and sediment control measures shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters. Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking.

Based on the results of this inspection, the description of potential sources and pollution prevention measures identified in the plan shall be revised as appropriate or as soon as practicable offer such inspection. Such modifications shall provide for timely implementation of any changes to the site within 24 hours and implementation of any changes to the plan within three (3) calendar days following the inspection. The plan shall be revised and the site controls updated in accordance with sound engineering practices, the Guideline and Subsections (4) and (6) (c) i 3) of the Storm Water General Permit.

A report summarizing the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of the Storm Water Pollution Control Plan and actions taken shall be made and retained as part of the plan for at least three (3) years after the date of inspection. The report shall be signed by the Permittee, or his authorizing representative.

E. BEST MANAGEMENT PRACTICES:

1. Construction shall proceed in accordance with the requirements of the general sequence of grading and construction activities, application of soil erosion and sediment control measures, and final stabilization of site as indicated on the plans.

2. Refueling of equipment or machinery within twenty-five (25) feet of any wetland or watercourse shall be allowed only by direction of the Engineer. Refueling locations and procedures to be submitted for Commission approval after site contractor has been approved.

3. No construction shall proceed until a written proposal of methods to prevent debris, paint, spent blasted materials or other materials from entering the wetland or watercourse has been submitted by the contractor to the Engineer and has been approved by the Engineer, and such methods have been implemented as the Engineer directs. These materials shall be collected and disposed of in an environmentally safe manner, in accordance with all applicable Federal and State laws and regulations. The Engineer may order the contractor to cease such activity temporarily if, in the judgment of the Engineer, wind or storm conditions threaten to cause the deposit of materials into a waterway.

4. No materials resulting from construction activities shall be placed in or contribute to the degradation of an adjacent wetland or watercourse. Disposal of any material shall be in accordance with Connecticut General Statutes including, but not limited to, Sections 27A-207 through 27A-209.

5. Forging of streams with equipment shall be prohibited, except where approved by the Engineer. Such equipment travel shall be minimized. Where frequent equipment travel on stream banks and beds is necessary, washed stone shall be placed to minimize erosion, scour and turbidity, provided no significant grade change will occur and no significant environmental impact will result. Approval will be required for any haul road or temporary structure placed in wetlands or watercourses.

6. A construction sequencing plan and a water handling plan, including a contingency plan for flood events, must be submitted in writing to the Engineer and approved by the Engineer prior to the commencement of any construction in a waterway. Water shall be kept deep enough in the channel to allow for the passage of fish and for the continuous flow of the watercourse as required by the Engineer.

7. When dewatering is necessary, pumps shall not discharge directly into the wetlands or watercourse. Prior to dewatering the contractor must submit to the Engineer a written proposal for specific methods and devices to be used, and obtain the Engineer's approval of such method and devices to be used for dewatering activities including, but not limited to, pumping the water into a temporary sedimentation trap, providing surge protection at the inlet and outlet of pumps or floating the intake of the pump, or other methods to minimize and retain the suspended solids. If the Engineer determines that the pump operation is causing turbidity problems, said operation shall cease until such time as means of controlling turbidity is submitted by the contractor and approved by the Engineer and implemented by the contractor.

8. Work within and adjacent to watercourses shall be conducted during periods of low flow, whenever possible. The Engineer shall remain aware of flow conditions during the work, and shall cause such activity to cease should flow conditions threaten to cause excessive erosion, siltation or turbidity. The contractor shall make every effort to secure the work site before predicted major storms. A major storm shall be defined as a storm predicted by the NOAA Weather Service with warnings of flooding, severe thunderstorms, or similarly severe weather conditions or effects.

9. All temporary fill shall be stabilized during use to prevent erosion and suitably contained to prevent sediment or other particulate matter from reentering a wetland or watercourse. All areas affected by temporary fills must be restored to their original contours or as directed by the Engineer, and revegetated. The area extent of temporary fill or excavation shall be confined to that area necessary to perform the work, as approved by the Engineer.

10. Dumping of oil, chemicals, or other deleterious materials on the ground is forbidden. The contractor shall provide a means of catching, retaining and properly disposing of drained oil, removed oil filters, or other deleterious material. All spills of such materials shall be reported immediately by the contractor to the DEP.

11. Application of Herbicides or Pesticides must be done by a Connecticut licensed applicator. The contractor shall submit to the Engineer the proposed Applicator's name and license number, and must receive the Engineer's approval of the proposed applicator before such application is carried out.

12. During spawning seasons, discharges and construction activities in spawning area of the State waters shall be restricted so as not to disturb or inhibit aquatic species which are indigenous to the waters.

F. SOIL STABILIZATION MEASURES:

1. All topsoil not to be used for final grading/landscaped areas shall be removed from the site immediately, in accordance with applicable State and Local laws. All topsoil to be used in landscaped areas shall be stored/stockpiled in accordance with applicable State and Local laws.

2. All areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.

3. Stabilization of all slopes greater than 3:1 shall include hydroseeding of the seed/fertilizer with erosion control matting to be installed as soon as feasible as grading progresses.

4. Sediment disposal areas and topsoil stockpiles not scheduled for construction activities within thirty (30) days shall be stabilized as follows:

- A. Ground limestone at a rate of 135 lbs. per 1,000 s.f.
B. Fertilizer at a rate of 14 lbs. per 1,000 s.f. using a 10-20-10 analysis or an equivalent.
C. Annual Rye grass seeding applied at a rate of not less than 1 lb. per 1,000 s.f.
D. Mulch all newly seeded areas with 80 lbs. of salt hay or small grain straw per 1,000 s.f.

5. All disturbed areas are to be provided with at least 4" of topsoil before final seeding.

6. Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading. Mulching as necessary for seed protection and establishment. Lime and fertilizer before permanent seeding.

7. Permanent vegetation:
A. Materials specifications for lawn areas:
(i) Soil: A minimum of 4" topsoil
(ii) Lime: 1.36 lbs. of ground limestone per 1,000 s.f.
(iii) Fertilizer: 14 lbs. per 1,000 s.f. using a 10-20-10 analysis or an equivalent.
(iv) Seed

Permanent Vegetation - Lawn

Table with columns: Proportion by weight, Common Name, Germ, Pure sd., Weed sd. Rows include Kentucky Bluegrass, Creeping Red Fescue, and Perennial Rye.

Permanent Vegetation - Detention Pond, Embankments, Cut Slopes, etc. more than 25' from Unit

Table with columns: Seed Mixture, Lbs./Acre, Lbs./1,000 s.f. Rows include Creeping Red Fescue, Redtop, Tall Fescue, and Smooth Bromegrass.

- B. Mulching shall be done at a rate of seventy to ninety pounds per 1,000 s.f. with rotted salt hay.
C. Liquid mulch binders must be used to anchor salt hay, hay or straw mulches.
D. Fill material shall be free from debris, perishable or combustible material and frozen or wet earth or stones larger than six inches in maximum dimension.
E. Construction areas shall be periodically sprayed with water until the surface is wet to control the generation of dust.
F. Seed preparation:
(i) Topsoil should be a minimum of four inches deep (compacted) before seeding.
(ii) have topsoil tested for pH, add lime as necessary to achieve pH of 6.5. Apply fertilizer at a rate of 300 pounds per acre or seven pounds per 4,000 s.f. using 10-20-10 or equivalent in addition, 300 pounds 3B-0-0 per acre of slow release nitrogen may be used in lieu of top dressing.
(iii) Work lime and fertilizer into soil as neatly as practical to a depth of four inches with a disc, springtooth harrow or other suitable equipment. The final harrowing or discing operation should be on the general contour. Continue all clay or silty soil and coarse sands should be rolled to firm the seed bed whenever feasible.
(iv) Remove from the surface all stones two inches or larger in any dimension. Remove all other debris, such as wire, cable, tree roots, pieces of concrete, clods, lumps or other unsuitable material.
(v) inspect seed bed just before seeding, if traffic has left soil compact, the area must be retted and firmed as above.

G. RESPONSIBLE PARTIES:

Stratford Development Company
550 Long Beach Boulevard, Stratford, CT 06615
Tel. (203) 377-5725

is assigned the responsibility for implementing the control measures of this plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of this plan, and notifying the Planning and Zoning Commission of the transfer of responsibility, and for conveying a copy of this plan if title to the property is transferred.

TEMPORARY SEDIMENT TRAP

CONSTRUCTION NOTES:

- 1. Clear, grub and strip any vegetation and root mat from any proposed embankment and outlet area.
2. Remove stones and rocks whose diameter is greater than 3 inches and other debris.
3. Excavate wet storage and construct the embankment and/or outlet as needed to attain the necessary storage requirements.
4. Use only fill material for the embankment that is free from excessive organics, debris, large rocks (over 6 inches) or other unsuitable materials.
5. Compact the embankment in 9-inch layers by traversing with equipment while it is being constructed.
6. Stabilize the earth embankment using any of the following measures: Temporary Seeding, Permanent Seeding, or Stone Slope Protection immediately after installation.

MAINTENANCE NOTES:

- 1. inspect the temporary sediment trap at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater.
2. Check the outlet to ensure that it is structurally sound and has not been damaged by erosion or construction equipment.
3. The height of the stone outlet should be maintained at least 1 foot below the crest of the embankment.
4. Also check for sediment accumulation and filtration performance.
5. When sediments have accumulated to one half the minimum required volume of the wet storage, dewater the trap as needed, remove sediments and restore the trap to its original dimensions. Dispose of the sediment removed from the basin in a suitable area and in such a manner that it will not erode and cause sedimentation problems.
6. The temporary sediment trap may be removed after the contributing drainage area is stabilized.

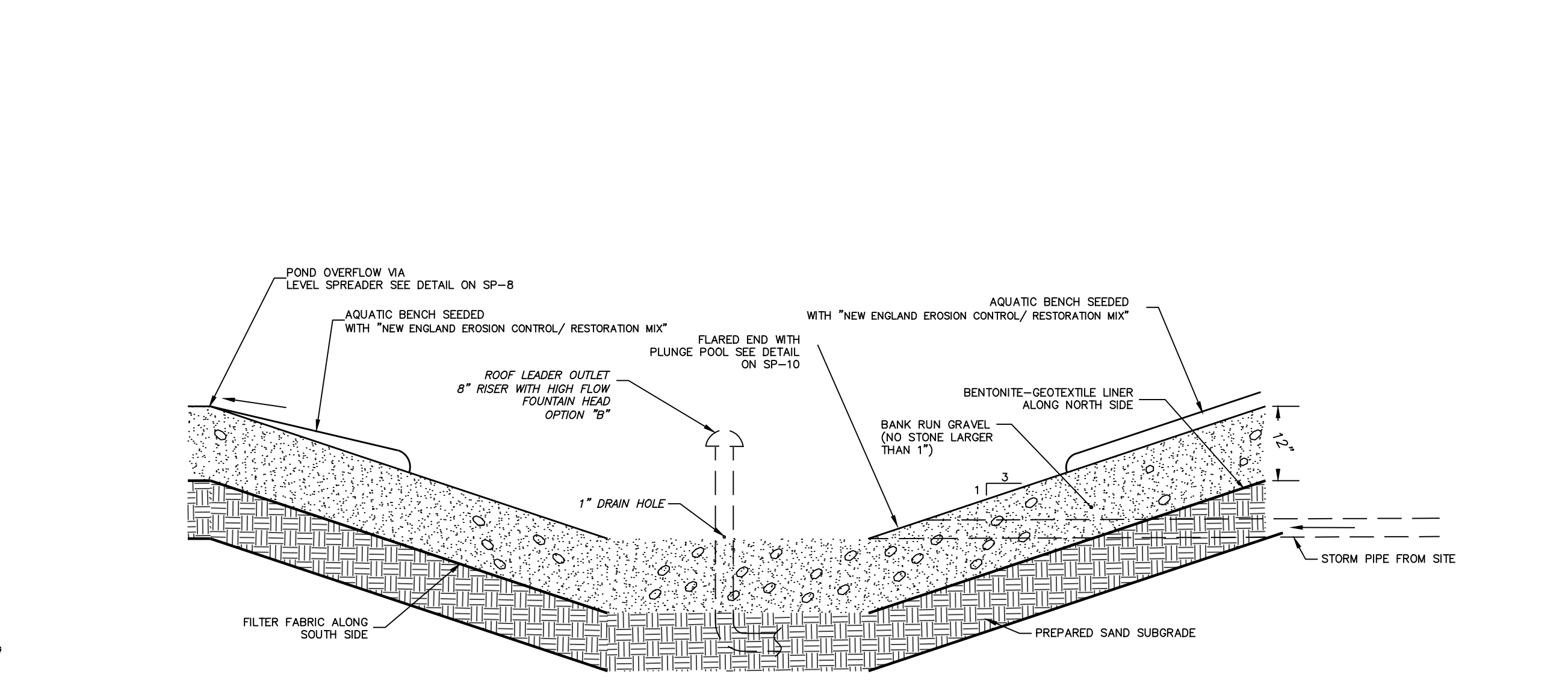
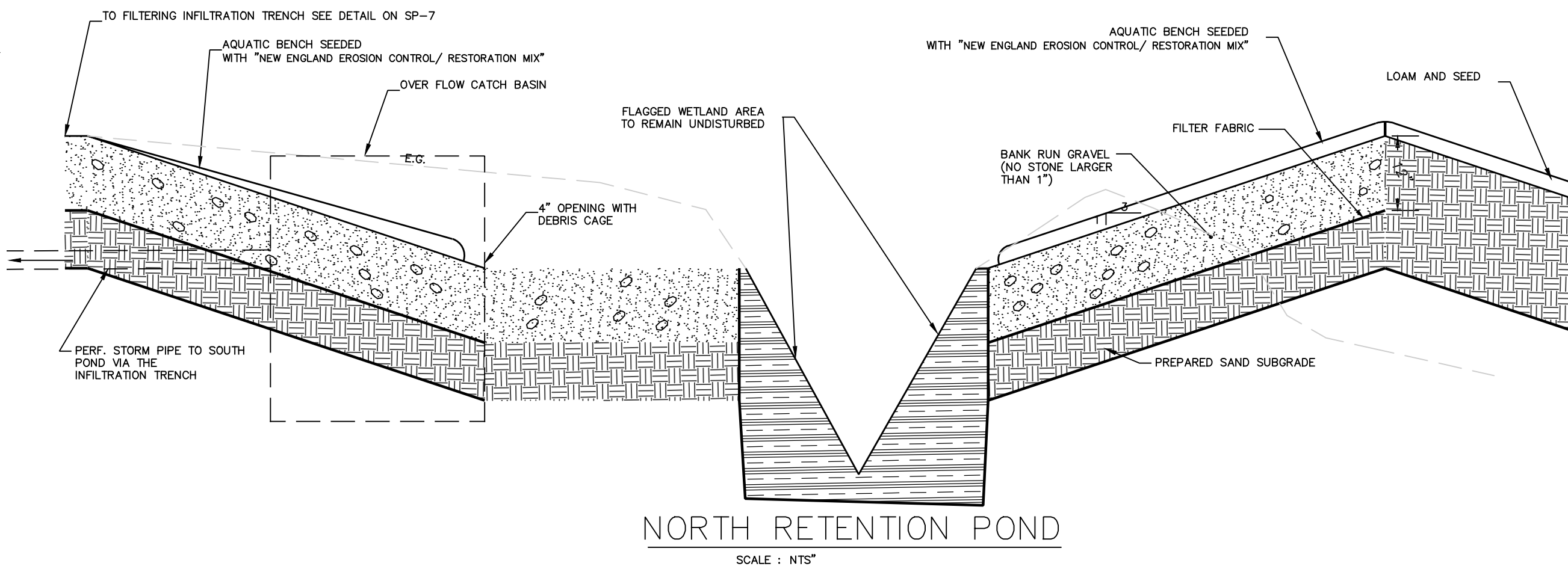


Table listing Scientific Name and Common Name for various plant species including shrubs, ferns, herbs, and seed mixes.

POSSIBLE RETENTION POND PLANTINGS
N.T.S.

ROSE-TISO & CO. LLC. ARCHITECTS SURVEYORS ENGINEERS

WWW.ROSETISO.COM
418 MEADOW STREET, SUITE 203, FAIRFIELD, CT 06824
TEL: (203) 610-6262 FAX: (203) 610-6404

Table with columns: NO., BY, DATE, DESCRIPTION for tracking revisions.

PROJECT TITLE

PROPOSED WAREHOUSE LOT 2

975 LORDSHIP BLVD
STRATFORD, CT

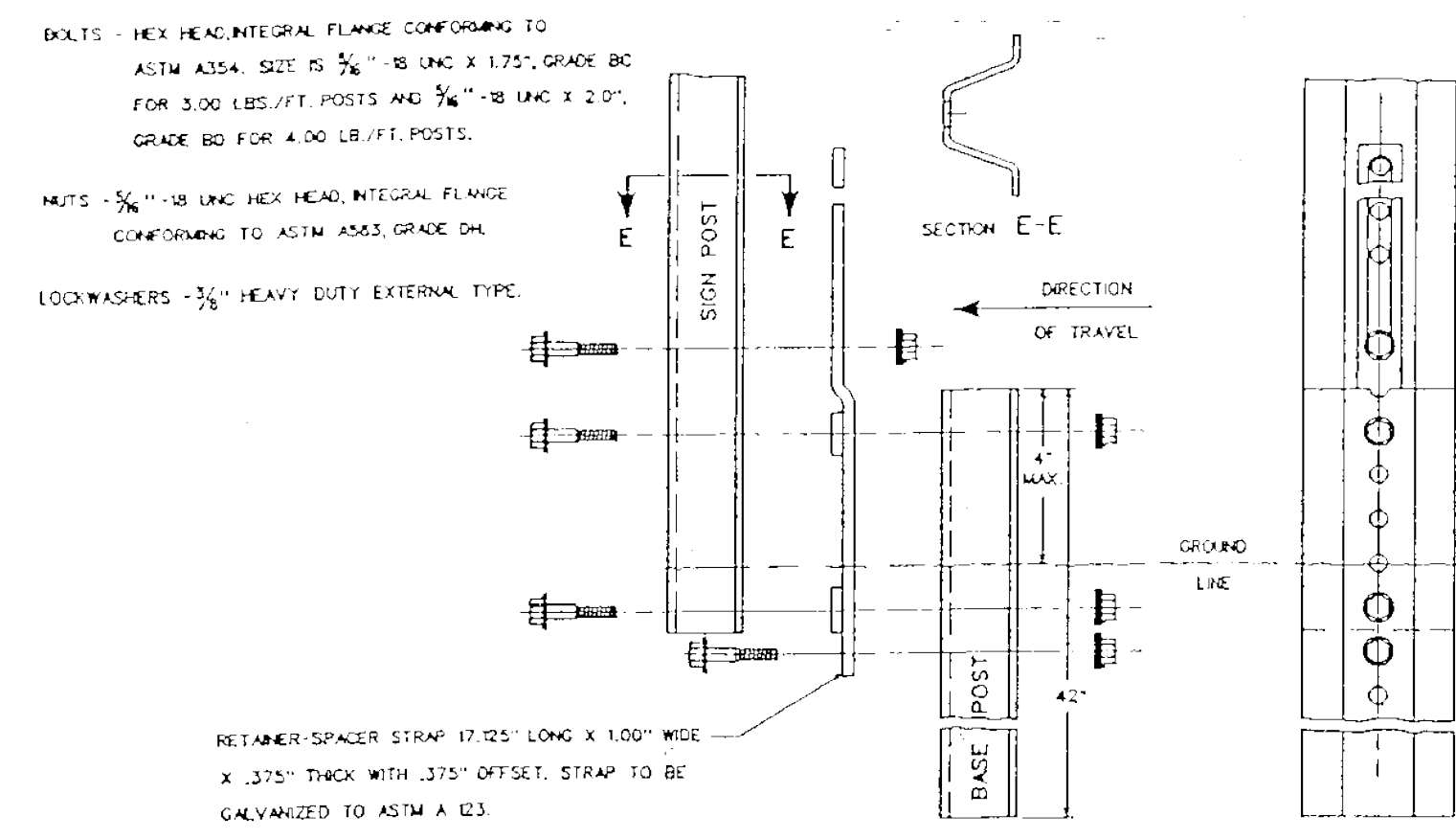
Prepared For:
STRATFORD DEVELOPMENT COMPANY

SHEET TITLE
DETAIL PLAN

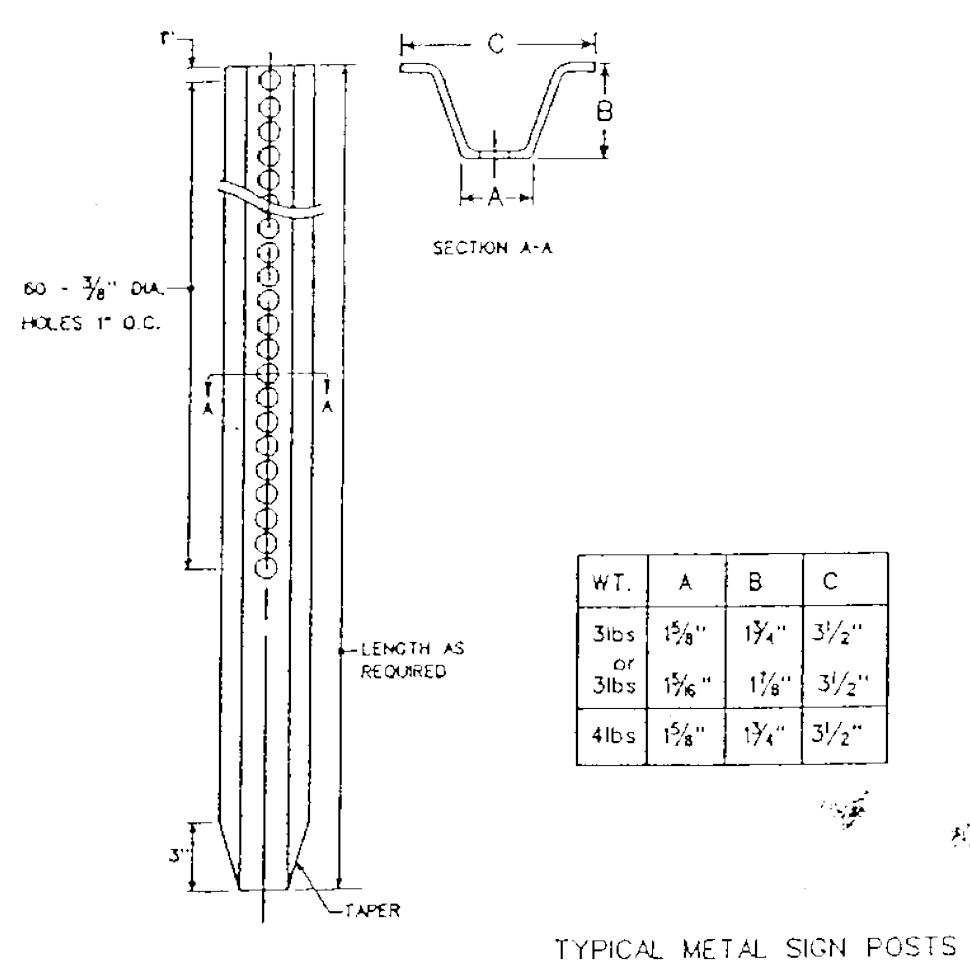
DESIGNED BY: MJS/SFS
SCALE: 1" = 60'
DRAWN BY: SFS
DATE: 06-11-16

CHECKED BY: PLT
PROJECT NUMBER: 2107
CAD FILE: R:2107/DWG/6-11-14-SP.DWG

Professional Engineer Seal for the State of Connecticut, License No. 13210, and SHEET NUMBER SP-5.



BREAKAWAY TYPE 1 INSTALLATION - FOR 3 & 4LB. POSTS

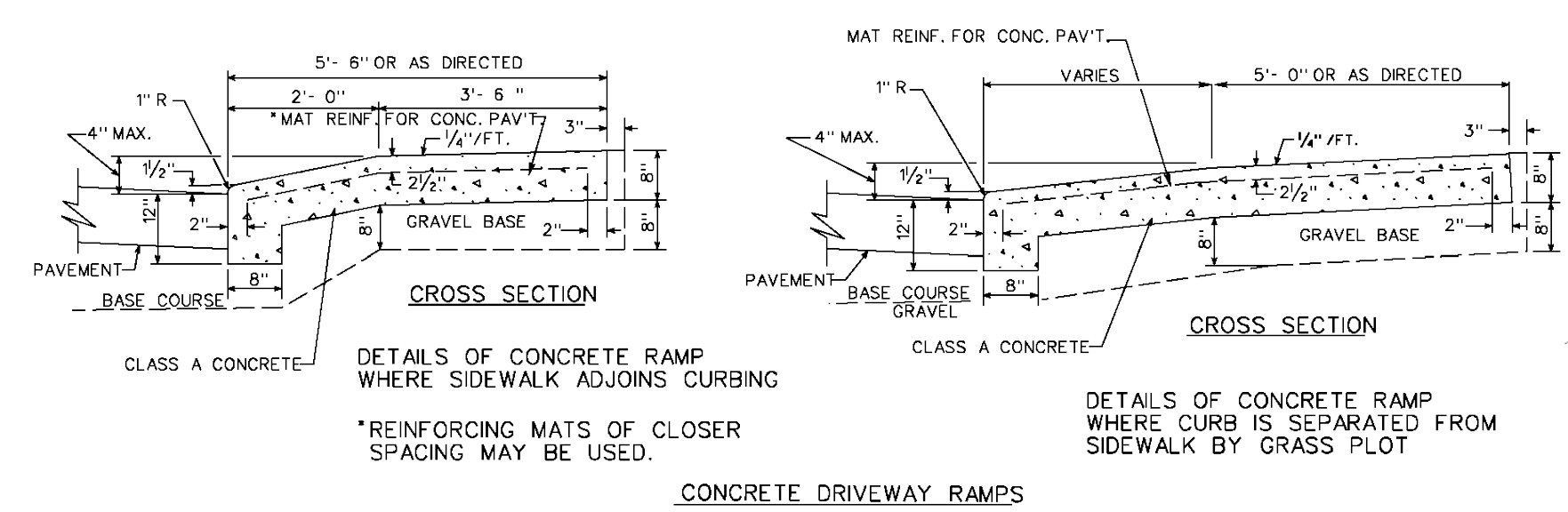


TYPICAL METAL SIGN POSTS

NOTES:

- STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A176 CARBON STEEL TEE RAIL HAVING NORMAL WEIGHT OF 91LBS OR GREATER PER LINEAR YARD. STEEL FOR DELINEATOR POSTS SHALL BE ASTM A36 STEEL.
- AFTER FABRICATION, ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A 123.
- ALL SIGN POSTS SHALL HAVE "BREAKAWAY" FEATURES THAT MEET ASHRAO REQUIREMENTS CONTAINED IN "STANDARDS SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS-1982." THE "BREAKAWAY" FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGNS SHOWN IN THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- TYPE A POSTS - 3 LB/FT. TYPE B POSTS - 4 LB/FT.

BREAK-A-WAY SIGN DETAIL

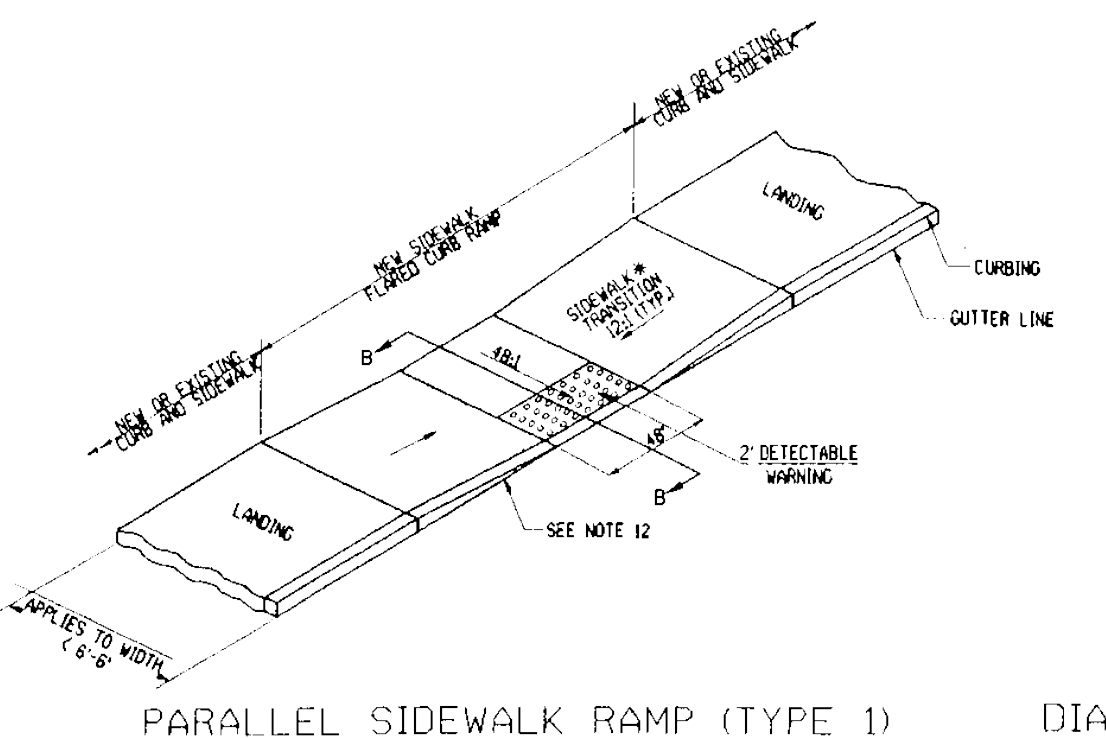


DETAILS OF CONCRETE RAMP WHERE SIDEWALK ADJOINS CURBING

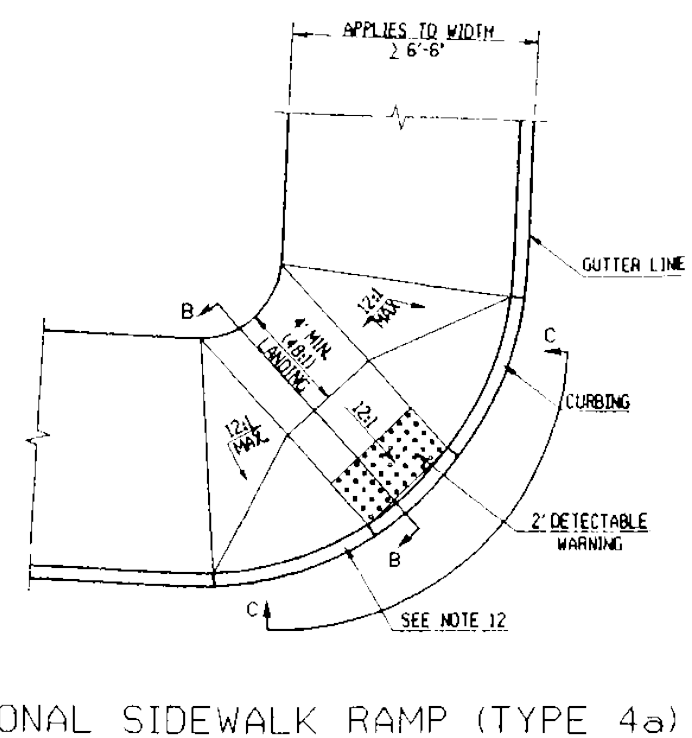
DETAILS OF CONCRETE RAMP WHERE CURBING IS SEPARATED FROM SIDEWALK BY GRASS PLOT

CONCRETE DRIVEWAY RAMPS

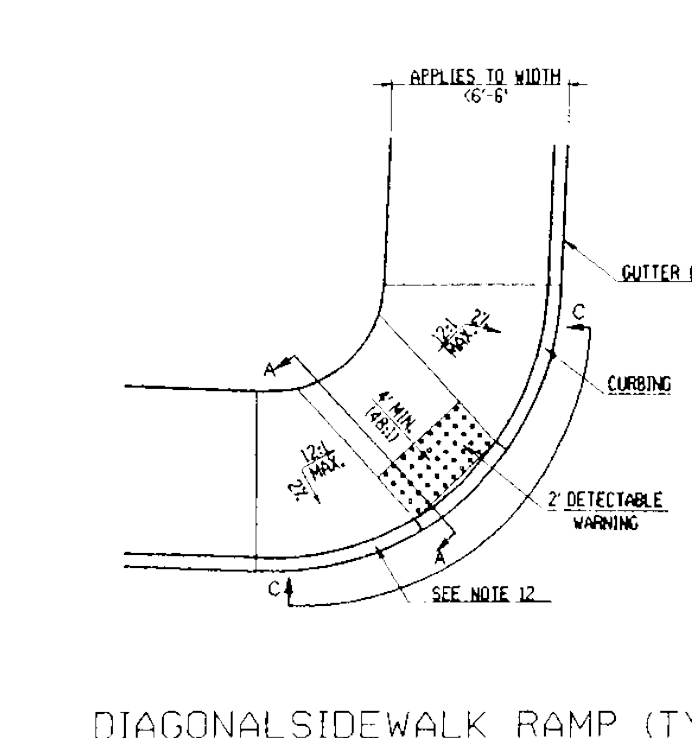
CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD NOTES:
 Removal of pavement markings along state roadways shall be completed by a non-destructive method in compliance with the State of Connecticut Department of Transportation Standard Specifications for Road, Bridges, and Incidental Construction Form 816 Section 12.11 as revised.
 New pavement markings shall be painted with epoxy resin paint in compliance with the State of Connecticut Department of Transportation Standard Specifications for Road, Bridges, and Incidental Construction Form 816 Section 12.10 as revised.
 New sign material and sheeting shall be made of reflective material in compliance with State of Connecticut Department of Transportation Standard Specifications for Road, Bridges, and Incidental Construction Form 816 Section 12.08 as revised. Type 1 Reflective Sheeting shall be used for signs with white background. Type 3 Reflective Sheeting shall be used for signs with colored background except for signs with red background that shall be Type 8 or 9 Reflective Sheeting.
 All signs and pavement markings installed along the state road must conform to the "Manual on Uniform Traffic Control Devices," the latest State of Connecticut Catalog of Signs and standard as revised.
 Any damage to the existing curb, sidewalk or any other highway appurtenances during the development of the permitted site will be replaced by the contractor as directed by the District 3 Permit Section at no cost to the state.
 All work within the state right of way will comply with the State of Connecticut Department of Transportation Standard Specifications for Road, Bridges and Incidental Construction Form 816 with the latest Special Provisions and Typical State Standard Details.



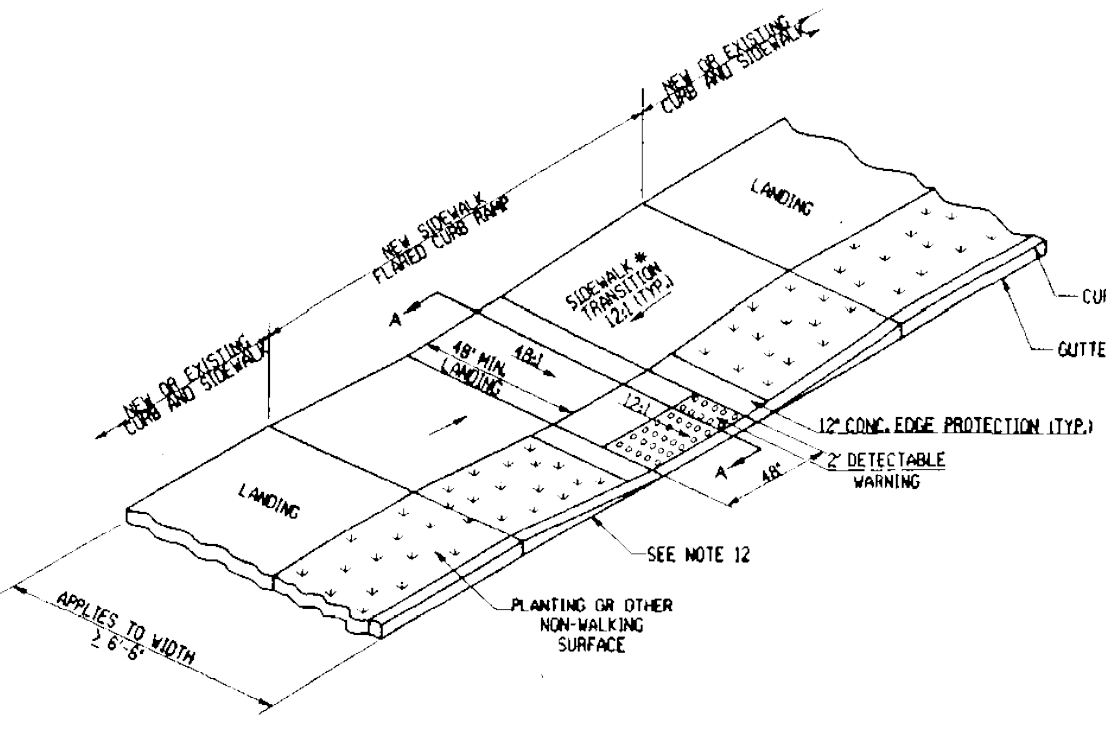
PARALLEL SIDEWALK RAMP (TYPE 1)



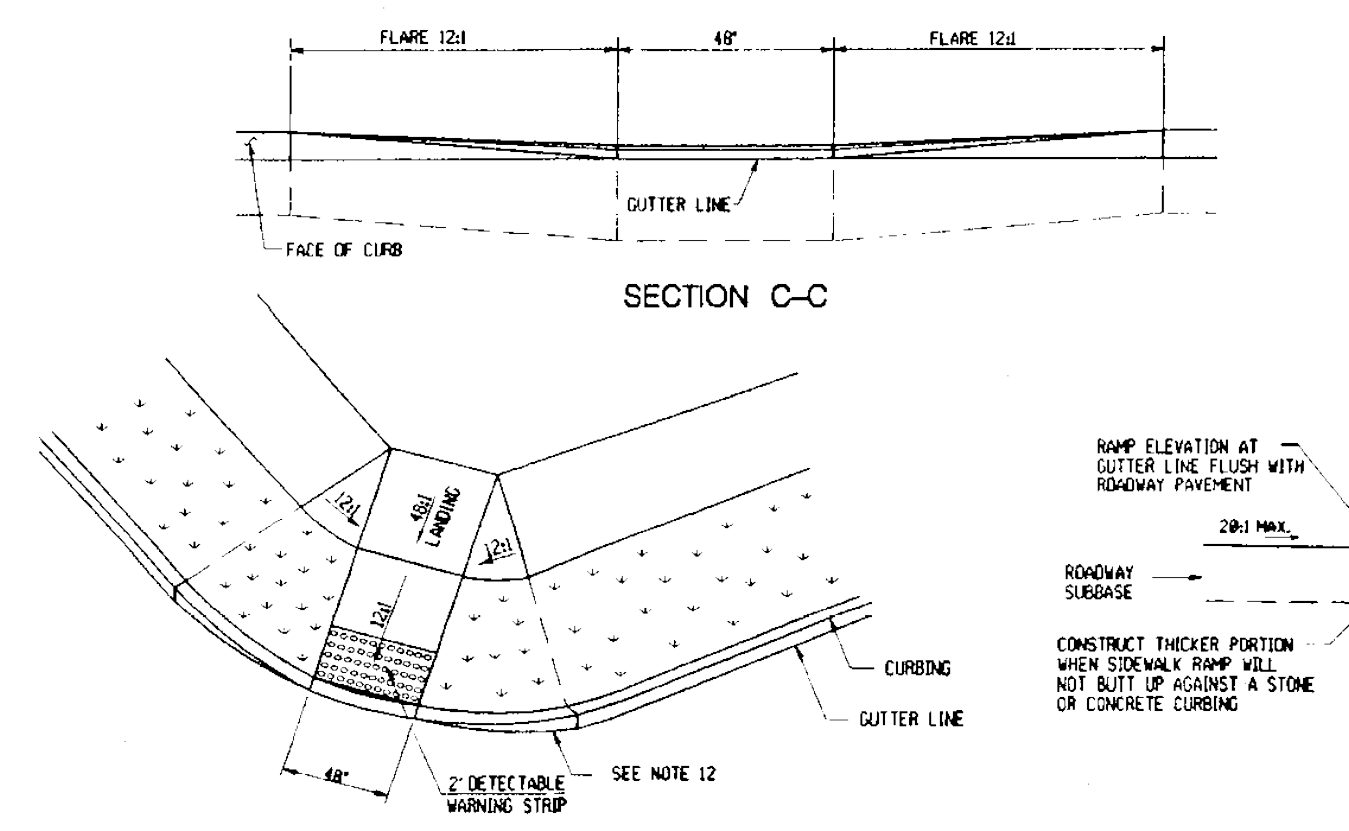
DIAGONAL SIDEWALK RAMP (TYPE 4a)



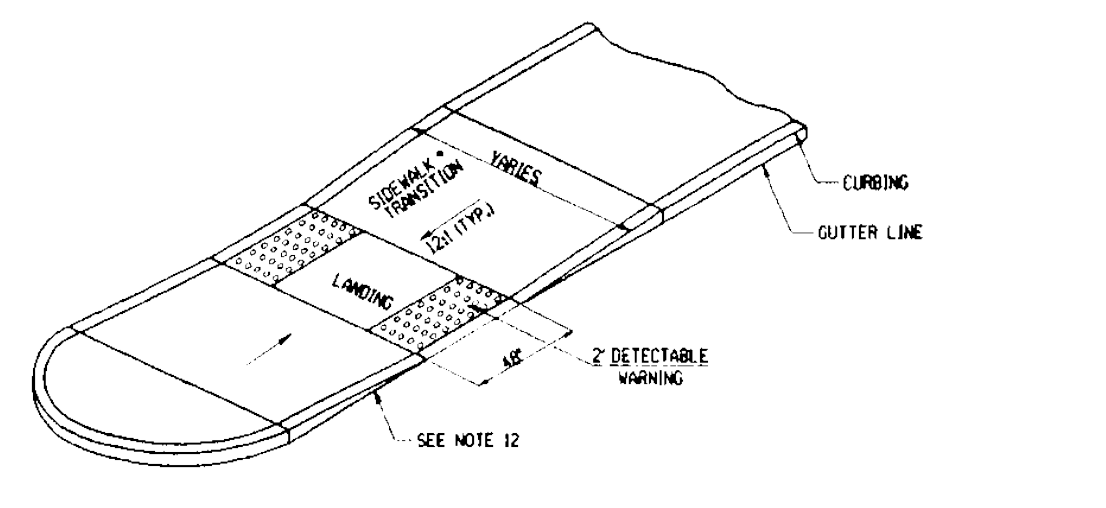
DIAGONAL SIDEWALK RAMP (TYPE 4b)



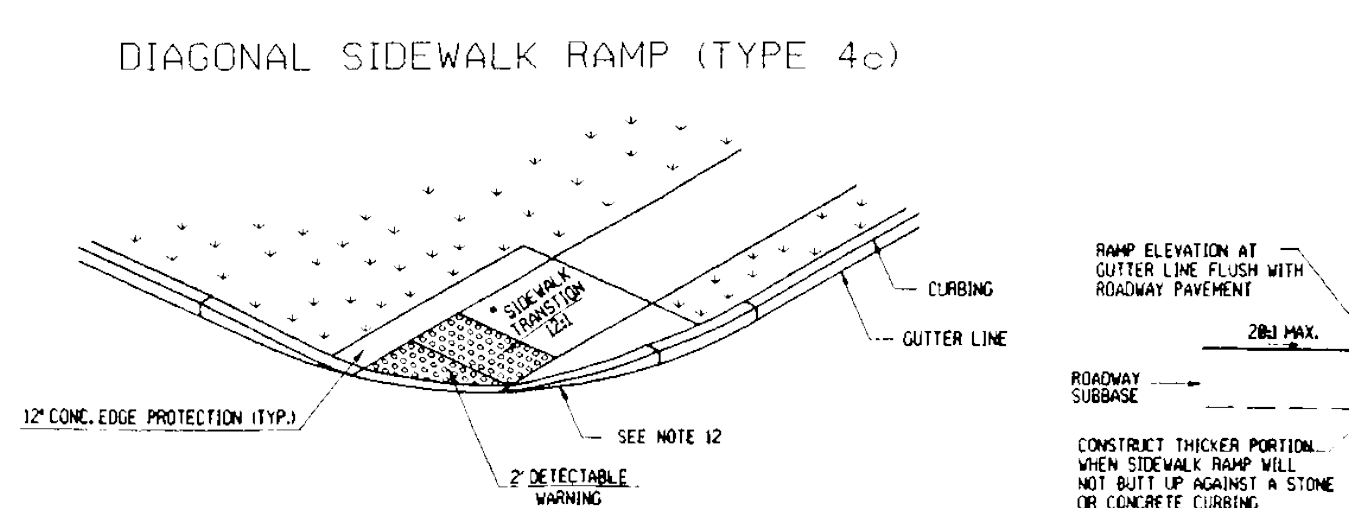
PERPENDICULAR SIDEWALK RAMP (TYPE 2)



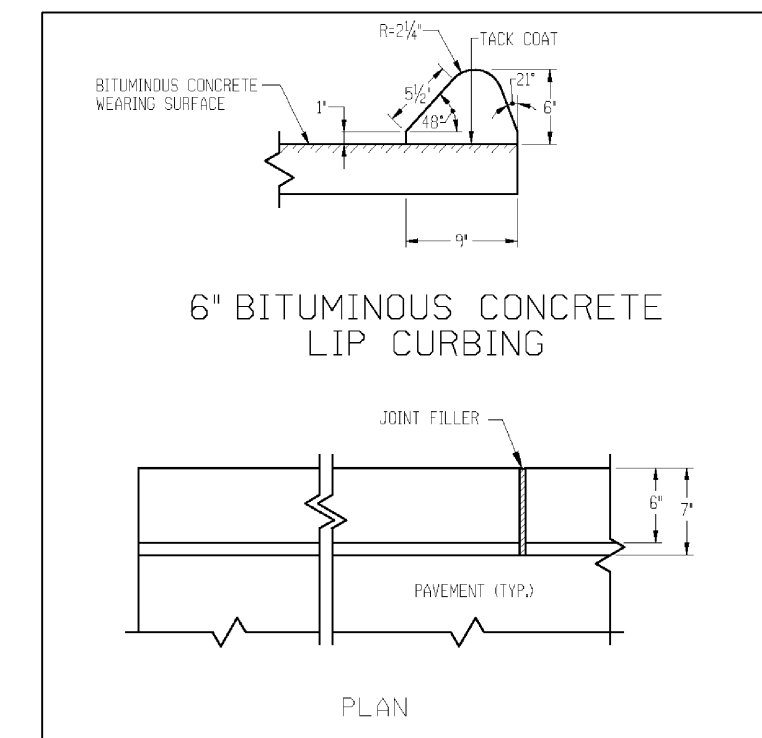
DIAGONAL SIDEWALK RAMP (TYPE 4c)



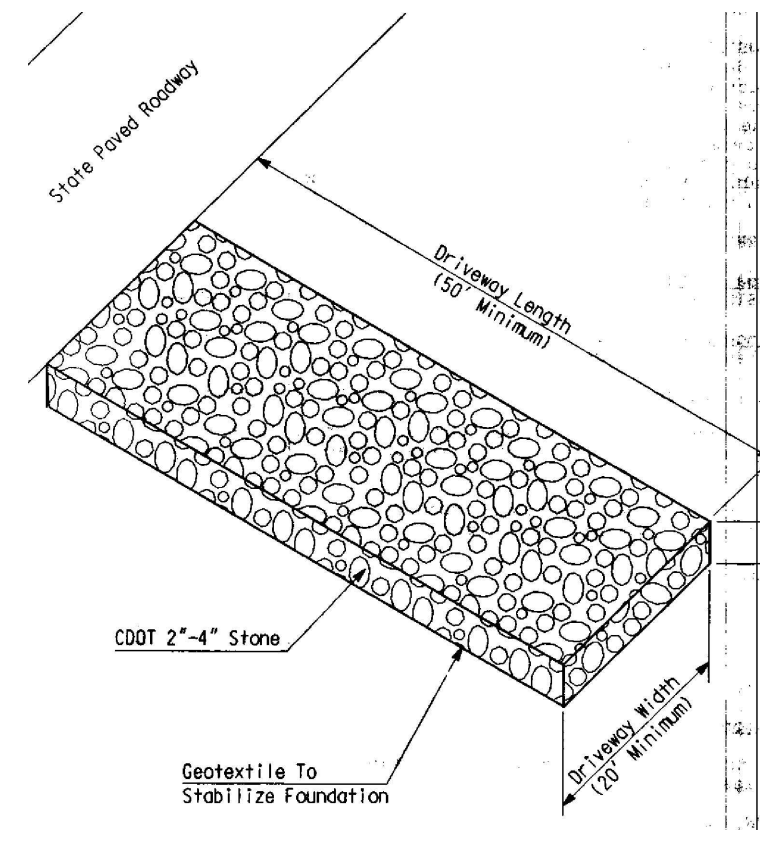
RAISED ISLAND SIDEWALK RAMP (TYPE 3)



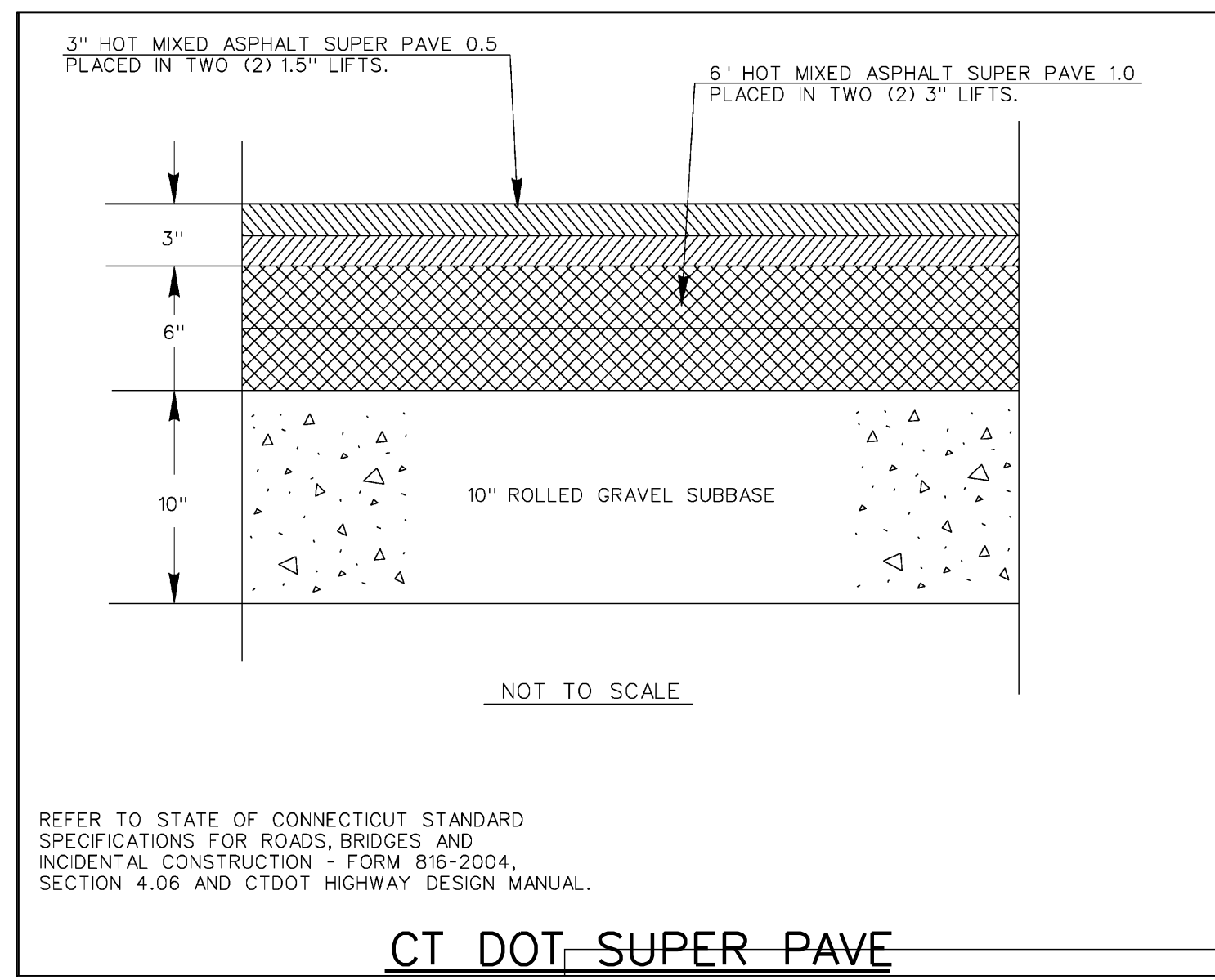
DIAGONAL SIDEWALK RAMP (TYPE 4d)



6" BITUMINOUS CONCRETE LIP CURBING



ANTI-TRACKING PAD

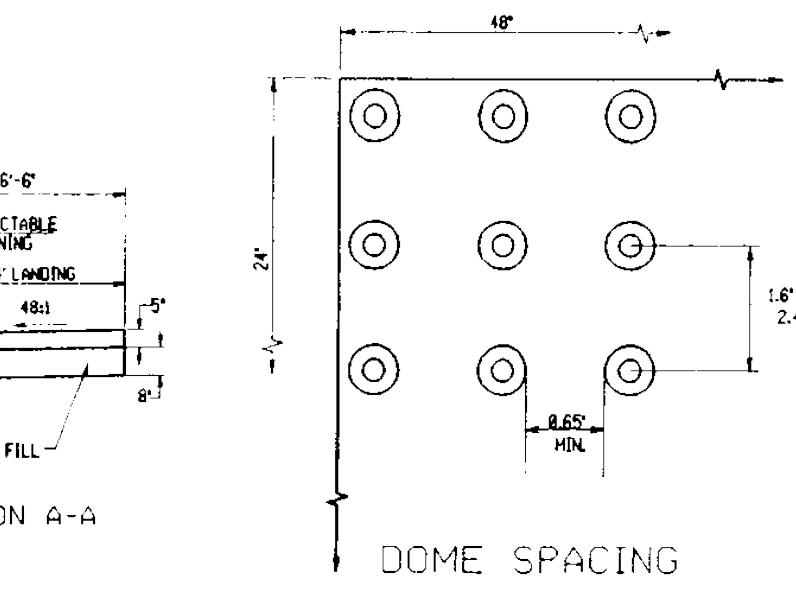


REFER TO STATE OF CONNECTICUT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION - FORM 816-2004, SECTION 4.06 AND CTDOT HIGHWAY DESIGN MANUAL.

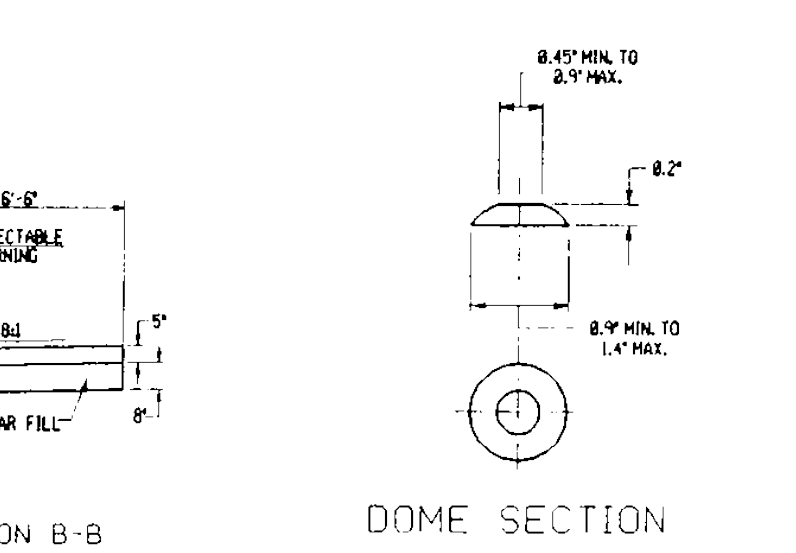
CT DOT SUPER PAVE

GENERAL NOTES

- MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE SIDEWALK RAMP OR ACCESSIBLE ROUTE SHOULD NOT EXCEED 20%.
- CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE ON THE RAMP, FREE OF SAGS AND HUMPY GRADE CHANGES.
- ALL RAMPS SHALL BE CONSTRUCTED OF CLASS "C" CONCRETE IN ACCORDANCE WITH CONNECTICUT STANDARD SPECIFICATIONS ARTICLE 100.00.
- SIDEWALK RAMPS SHALL HAVE A COURSE BROOK FINISH TRANSVERSE TO THE SLOPE OF THE RAMP. THE SURFACE ALONG ACCESSIBLE ROUTES SHALL BE STABLE, FIRM AND SLIP RESISTANT IN CONFORMANCE WITH ROAD SECTION 4.5.
- DIAGONAL SIDEWALK RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARE SIDES.
- REMOVAL OF EXISTING SIDEWALK FOR NEW RAMP INSTALLATIONS SHALL BE TO THE NEAREST EXPANSION/CONTRACTION JOINT OR CURB JOINT. JOINTS MAY NOT BE ACHIEVABLE DUE TO SIDEWALK GRADE. IN RECONSTRUCTION OF THIS A MINIMUM LIMIT OF 15' FOR A PARALLEL RAMP SHALL BE USED. REMOVAL SHALL NOT BE FURTHER THAN 2' FROM THE PROPOSED RAMP UNLESS DIRECTED BY THE ENGINEER. SAW CUT REQUIRED FOR CURB JOINTS SHALL BE INCLUDED IN THE COST OF THE CONCRETE SIDEWALK.
- EXPANSION JOINTS IN CONCRETE SHALL MATCH THOSE IN ADJACENT SIDEWALKS BUT IN NO CASE SHALL THE SPACING BETWEEN EXPANSION JOINTS EXCEED 12' UNLESS OTHERWISE NOTED.
- RAISED ISLANDS IN MARKED CROSSINGS SHALL HAVE SIDEWALK RAMPS AT BOTH SIDES AND A LEVEL AREA AT LEAST 4' LONG BETWEEN THE RAMPS. IF THIS CAN NOT BE ACHIEVED, THE RAISED ISLAND SHALL BE CUT THROUGH LEVEL WITH THE ROADWAY AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- SIDEWALK RAMPS SHALL BE CONSTRUCTED AND PAID FOR UNDER THE ITEM "CONCRETE SIDEWALKS" INCLUDING CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP AND DETECTABLE WARNING STRIPS.
- CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF FORM 816A, SECTIONS 8.1 AND 8.11.
- RAISED RAMPS CONFORMING WITH CONNECTICUT GENERAL STATUTES, SEC. 7-118a, SHALL BE INCORPORATED IN ALL PROPOSED SIDEWALKS AT ALL STREET INTERSECTIONS AND AT ALL OTHER LOCATIONS WHERE THE GRADE OF A DRIVEWAY OR OTHER FACILITY TAKES PRECEDENCE OVER THE GRADE OF THE PROPOSED SIDEWALK.
- TRANSITION TO FULL HEIGHT CURB. INSTALL STONE CURBING IF ADJACENT CURBING IS STONE. INSTALL CURBING IF ADJACENT CURBING IS CONCRETE OR BITUMINOUS.
- INSTALL THE EDGE OF THE DETECTABLE WARNING 6" FROM THE EDGE OF ROAD.
- INSTALL THREE CHAIN WHEELS TO ROLL BETWEEN DOMES, ALONG DOMES ON A SQUARE GRID, IN THE DIRECTION OF PEDESTRIAN TRAVEL.



DOMES SPACING



DOMES SECTION

ROSE TISO & CO. LLC.
 ARCHITECTS • SURVEYORS • ENGINEERS

WWW.ROSETISO.COM
 418 MEADOW STREET, SUITE 203, FAIRFIELD, CT 06424
 TEL: (203) 610-6262 • FAX: (203) 610-6404

REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

PROPOSED WAREHOUSE LOT 2

975 LORDSHIP BLVD
 STRATFORD, CT

Prepared For:
 STRATFORD DEVELOPMENT COMPANY

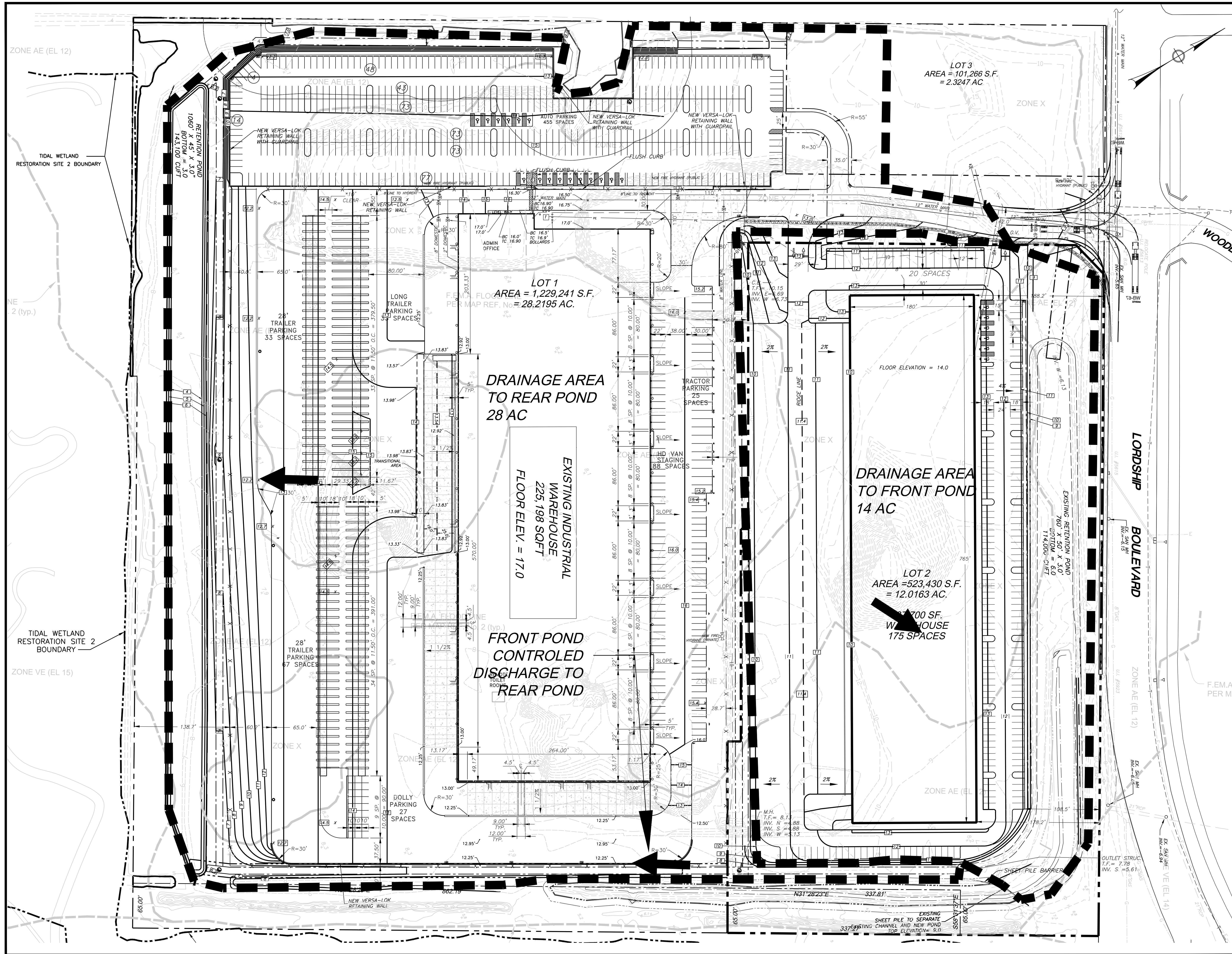
SHEET TITLE

DOT DETAIL PLAN

DESIGNED BY: MJS/SFS	SCALE: 1" = 60'
DRAWN BY: SFS	DATE: 06-11-16
CHECKED BY: PLT	PROJECT NUMBER: 2107
CAD FILE: R:2107/DWG/6-11-14-SP.DWG	

SEAL SHEET NUMBER

SP-6



REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

EAST CAMPUS FACILITY

LORDSHIP BLVD
STRATFORD, CT

Prepared For:

42 EAST CAMPUS, L.P.

SHEET TITLE

PROPOSED DRAINAGE

DESIGNED BY: MJS	SCALE: 1" = 60'
DRAWN BY: MJS	DATE: 06-11-14
CHECKED BY: MJS	PROJECT NUMBER: 1800
CAD FILE: R: / 1800/DWG/SITE.DWG	

SEAL

SHEET NUMBER

SP-C